



# TOWN OF CORTLANDT PLANNING BOARD

Steven Kessler  
*Chairperson*

Thomas A. Bianchi  
*Vice-Chairperson*

David Douglas  
Nora Hildinger  
Kevin Kobasa  
Peter McKinley  
Jeff Rothfeder

Town Hall, 1 Heady Street  
Cortlandt Manor, NY 10567  
Main #: 914-734-1080  
Fax #: 914-788-0294

Planning Staff email:  
chrisk@townofcortlandt.com

**Town Supervisor**  
Richard H. Becker, MD

**Town Board**  
James F. Creighton  
Cristin Jacoby  
Robert Mayes  
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**TO JOIN THE MEETING REMOTELY USE THE ZOOM LINK BELOW:**

<https://us02web.zoom.us/j/82862537351?pwd=Z3NGWnVCL2QxU0tlR3ZhdGpka0NqZz09>

**WORK SESSION..... OCTOBER 1, 2024 6:00 PM**

1. Discuss October 1, 2024 Regular Planning Board Meeting Agenda.

**MEETING AGENDA.....PLANNING BOARD**  
**TOWN OF CORTLANDT**  
**6:30 TUESDAY EVENING\***  
**OCTOBER 1, 2024**

1. PLEDGE TO THE FLAG
2. ROLL CALL
3. CHANGES TO THE AGENDA BY MAJORITY VOTE
4. ADOPTION OF THE MINUTES OF THE MEETING OF SEPTEMBER 10, 2024
5. CORRESPONDENCE

**PB 16-99** a. Letter dated September 3, 2024 from John Bevegna, P.G. regarding modifications to the Hollowbrook Golf Club Annual Monitoring.

**6. PUBLIC HEARING (ADJOURNED FROM PREVIOUS MEETING)**

**PB 2024-1** a. Public Hearing: Application of KPB Properties LLC for Site Development Plan approval and a referral from the Town Board of a Petition for a Zoning Text Amendment for a proposed 4-story, 75,000 sq. ft. self-storage facility located at 3 Locust Avenue. Drawings latest revised September 24, 2024.

7. **NEW PUBLIC HEARING**

- PB 2024-3** a. Public Hearing: Application of Briga Enterprises Inc. & Bilotta Realty of Westchester Inc. for Amended Site Plan approval for a 2,400 sq. ft. storage building located at 2099 Albany Post Rd. Drawings dated March 11, 2024. (see prior PBs 29-95, 15-99, 8-03)

8. **OLD BUSINESS**

- PB 2024-5** a. Application of Elrac LLC, dba Enterprise Rent-a-Car, for Amended Site Plan Approval for the removal of an existing carport and the construction of an 875 sq. ft. enclosed wash bay at the Enterprise Rental Car Center located at 2077 East Main St. (Cortlandt Boulevard). Drawings dated September 24, 2024. (see prior PB 15-95)

9. **ADJOURNMENT**

**Next Regular Meeting; THURSDAY, NOVEMBER 7, 2024 at 6:30 PM**  
**Agenda information is also available at [www.townofcortlandt.com](http://www.townofcortlandt.com)**

*\* Regular meeting will begin at the conclusion of the work session*

TOWN OF CORTLANDT  
PLANNING AND ZONING BOARDS

BOARD MEETING

Town Hall  
1 Heady Street  
Cortlandt Manor, NY 10567  
September 10, 2024  
6:30 p.m. - 7:29 p.m.

September 10, 2024

MEMBERS PRESENT:

Steven Kessler, Chairperson

Thomas A. Bianchi, Vice-Chairperson

David Douglas, Member

Nora Hildinger, Member

Kevin Kobasa, Member

Peter McKinley, Member

Jeff Rothfeder, Member

ALSO PRESENT:

Michael Cunningham, Town Deputy Attorney

Chris Kehoe, Director of Planning

Chris Lapine, Consultant, Town Engineer

Heather LaVarnway, CNU-A, Planner



1 September 10, 2024

2 (The board meeting commenced at 6:30 p.m.)

3 MR. STEVEN KESSLER: Welcome to the  
4 Planning Board meeting of September 10th. Please  
5 rise for the pledge.

6 MULTIPLE: I pledge allegiance to the  
7 flag of the United States of America and to the  
8 Republic for which it stands, one nation under  
9 God, indivisible, with liberty and justice for  
10 all.

11 MR. KESSLER: Thank you.

12 MR. CHRIS KEHOE: Mr. Kobasa?

13 MR. KEVIN KOBASA: Here.

14 MR. KEHOE: Ms. Hildinger?

15 MS. NORA HILDINGER: Here.

16 MR. KEHOE: Mr. Rothfeder?

17 MR. JEFFREY ROTHFEDER: Here.

18 MR. KEHOE: Mr. Kessler?

19 MR. KESSLER: Here.

20 MR. KEHOE: Mr. Bianchi?

21 MR. THOMAS BIANCHI: Here.

22 MR. KEHOE: Mr. Douglas?

23 MR. DAVID DOUGLAS: Here.

24 MR. KEHOE: Mr. McKinley?

1 September 10, 2024

2 MR. PETER MCKINLEY: Here.

3 MR. KESSLER: Can I please have a motion  
4 to, to adopt the minutes from our meeting of July  
5 the ninth?

6 MR. BIANCHI: So moved.

7 MR. KESSLER: Second, please.

8 MR. MCKINLEY: Second.

9 MR. DOUGLAS: Second.

10 MR. KESSLER: Thank you. And on the  
11 question, all in favor?

12 MULTIPLE: Aye.

13 MR. KESSLER: All opposed? We have no  
14 changes to the agenda this evening. And our first  
15 item under correspondence is a letter dated  
16 September 3, 2024 from John Bevegna regarding  
17 modifications to the Hollowbrook Golf Club annual  
18 monitoring. So this issue's been going on for a  
19 number of months. We've, since the golf course  
20 was put in place, we've had a water monitoring  
21 program for the Hollowbrook. And now there's a  
22 question as to what continues and what doesn't  
23 continue. Mr. Bevegna, I know you wrote us a  
24 letter, so let's talk about it.

1 September 10, 2024

2 MR. KEHOE: And I, I think you  
3 mentioned, but just for the record, John Bevegna  
4 is the town's consultant, so he's representing  
5 your interests on this case.

6 MR. KESSLER: Right.

7 MR. JOHN BEVEGNA: Right, right. I'm not

8 --

9 MR. KESSLER: So, so the issue here was  
10 that the Hollowbrook would like to eliminate the  
11 annual storm monitoring.

12 MR. BEVEGNA: They, they wanted some  
13 something and we, after discussion trying to be  
14 accommodating to them, came up with what I  
15 considered to be the lesser of evils. There isn't  
16 much left. We've already given them several  
17 reductions, both in the number of tests over the  
18 course of a year and the number of monitoring  
19 points on the course. So we've really tried to  
20 accommodate them the best we could, especially  
21 during COVID. And, after COVID, they came back  
22 and wanted further concessions. And we came up  
23 with eliminating -- there's one of the sampling  
24 criteria is in annual stormwater sampling event

1 September 10, 2024

2 in the Hollowbrook. The Hollowbrook is sampled  
3 during non-storm events twice a year. This was a  
4 once-a-year storm event. I felt it was the least  
5 important of what was left. After some initial  
6 discussions, the town of Peekskill water  
7 department took a look at what we're considering  
8 and voiced their objection.

9 MR. KESSLER: Objection to eliminating  
10 the annual storm event monitoring?

11 MR. BEVEGNA: Yes. And, after, after  
12 that we met with them and the town and the golf  
13 course. The golf course pleaded their case. We  
14 discussed what we've -- the data we've had over  
15 the years and why I felt we could live without it  
16 and they took all that under advisement. They  
17 went back, they looked at the data, because  
18 there's a lot of data, it's been going on for  
19 quite a while. And then they wrote their letter,  
20 which I believe was July something in response to  
21 that meeting, basically stating there they were  
22 fine with the current status of the program, but  
23 they objected to eliminating the storm event.

24 MR. KESSLER: And, and what kind of

1 September 10, 2024

2 testing does Peekskill do on their own?

3 MR. BEVEGNA: I, I can't say for that  
4 specifically, but as a public water supplier,  
5 they're bound by the New York State regulations.  
6 I'm sure they do a wide variety of testing.  
7 However, the specific pesticides, that testing  
8 that we do would not be part of that.

9 MR. KESSLER: I see.

10 MR. BEVEGNA: He did say to me, however,  
11 that under extreme conditions and during storm  
12 events due to turbidity, they usually bypass the  
13 flow. They do not, because the water's so turbid,  
14 they, however they do it, they allow the  
15 Hollowbrook to bypass because the turbidity is  
16 too much for them to handle during an extreme  
17 storm event. So he said it's very possible that  
18 during a magnitude or a high magnitude storm  
19 event, they would be bypassing the water supply  
20 anyway. That said, they still have the concerns,  
21 it is a public water supply and they did not want  
22 to see that eliminated.

23 MR. KESSLER: So the issue now is just  
24 defining what a storm event is?

1 September 10, 2024

2 MR. BEVEGNA: Well, that goes back to  
3 the original plan. There's some discrepancy in  
4 the plan. And that's, that's a point of  
5 contention that we've had with Hollowbrook over  
6 the years, which is one of the reasons why there  
7 hasn't been storm samples for a number of years.  
8 because we can't come to agreement. There's  
9 discrepancy and in the past we had asked  
10 Hollowbrook, well go back and do your study. You  
11 know, we shouldn't be doing it for you. And, you  
12 know, they never did. So, you know, here we are.  
13 There's a discrepancy in the plan. We haven't  
14 come to agreement on what --

15 MR. KESSLER: But up until now, just for  
16 the record, there's never been an issue?

17 MR. BEVEGNA: That's correct. There've  
18 been, there have been detections. Initially the  
19 stormwater sampling included onsite tributaries.  
20 There were detections in the onsite tributaries.  
21 There was a detection once in the Hollowbrook. It  
22 was below what was considered a standard or  
23 guidance at the time. A resampling event  
24 confirmed that it was then was not detected. And

1 September 10, 2024

2 we were able to trace that specific event to an  
3 application that the superintendent had made. It  
4 was late fall, it was a snow mold application and  
5 we had a heavy storm the day after he made it.  
6 And so, you know, it was perfectly clear what  
7 happened. And even with that, and although there  
8 was a detection, it was still below, you know,  
9 guidance value and follow up sampling confirmed  
10 that that was it, it went away.

11 MR. KESSLER: Okay.

12 MR. BEVEGNA: It wasn't a prolonged  
13 issue.

14 MR. KESSLER: Okay.

15 MR. ROTHFEDER: So the 2.8 inches, that  
16 sort of storm event, how frequently is that?

17 MR. BEVEGNA: That's a frequency, that's  
18 a once a year.

19 MR. ROTHFEDER: That will happen once a  
20 year?

21 MR. BEVEGNA: That would happen at  
22 least, it's a hundred percent chance of happening  
23 at least once a year. Now, I can't guarantee you  
24 it'll happen during daylight hours. We don't go

1           September 10, 2024

2           out in the middle of the night.

3                   MR. ROTHFEDER: Right.

4                   MR. BEVEGNA: So there's only certain  
5           hours we're limited. But, you know, there's a,  
6           there's a fairly high chance we'll see 2.8  
7           inches.

8                   MR. ROTHFEDER: Okay.

9                   MR. BEVEGNA: We, we threw out 2.8  
10          inches because we're trying to come to some  
11          accommodation here, that the golf -- we think the  
12          golf course can live with and the town can live  
13          with and Peekskill can live with, trying to make  
14          everybody happy.

15                  MR. KESSLER: And where does that work  
16          in terms of the process, you would look to see,  
17          are we going get a big storm and set up?

18                  MR. BEVEGNA: That's right. Something,  
19          something of that magnitude is usually predicted,  
20          you know, a storm event of that size, we'll have  
21          some notice that something like that might be  
22          coming. So we'll be able to prepare better in  
23          advance. It's very hard to real time, try to try  
24          to meet the criteria and then get out there in



1 September 10, 2024

2 time.

3 MR. KESSLER: So you expect the storm to  
4 be greater than 2.8 inches, it turns out to be  
5 2.5 inches. Does that eliminate their requirement  
6 for the year?

7 MR. BEVEGNA: If we sample, I would say,  
8 and there's runoff and it's significant and we  
9 get a sample, I would say yes. If they, if for  
10 some reason we don't get a sample, it doesn't  
11 rain hard enough or, you know, we're not going be  
12 able to tell the difference between 2.5 and 2.8  
13 until after the fact. So, you know, we'll do our  
14 best to meet that condition. But my opinion would  
15 be if we go out there and it's 2.4, 2.5, and we  
16 take the sample and it's a valid sample, then  
17 that should meet the condition for them.

18 MR. KEHOE: Because isn't, hasn't it  
19 been part of the issue, isn't there a cost just  
20 associated with you getting everything set up,  
21 going out there?

22 MR. BEVEGNA: There's, there is a cost.

23 MR. KEHOE: Either way.

24 MR. BEVEGNA: Because sometimes,

1 September 10, 2024

2 sometimes we don't know for sure. And it may  
3 rain, rain isn't exactly a uniform everywhere, so  
4 they may predict, 2.8 inches, but up in  
5 Cortlandt, they may not get it or it may not rain  
6 that hard. So we may go up and not take a sample.

7 MR. KEHOE: But does that, do you charge  
8 for that?

9 MR. BEVEGNA: Oh yeah.

10 MR. KEHOE: Right. So that's what  
11 Eugene's problem has always been, right?

12 MR. KESSLER: Yeah. So how do we deal  
13 with that? I mean, you know, if, if, if --

14 MR. BEVEGNA: That's --

15 MR. ROTHFEDER: Well, how, how low would  
16 it -- like to get a good sample, what, how much  
17 rain would you need?

18 MR. BEVEGNA: Less than that, you know.  
19 And that's part of the issue that, that's part of  
20 the issue has been what's enough to generate --  
21 when it's got to generate runoff and sufficient  
22 runoff to --

23 MR. ROTHFEDER: So can't we --

24 MR. BEVEGNA: -- go from certain points

1 September 10, 2024

2 on the --

3 MR. ROTHFEDER: -- adjust for that  
4 Issue?

5 MR. KESSLER: Yeah. So you maybe put a  
6 range in that it's, you know, 1.5 to plus.

7 MR. KOBASA: Right.

8 MR. KESSLER: Would that do it?

9 MR. BEVEGNA: I, it would do it for me.  
10 I don't know how the course would feel about it.

11 MR. BIANCHI: Well, you're likely going  
12 do it once a year anyways.

13 MR. BEVEGNA: Well, that's, that's  
14 always been our point.

15 MR. KESSLER: The issue is, as Chris is  
16 mentioning you, you don't want to say, oh, we  
17 went out there. I'm charging you, but it wasn't  
18 enough for a sample, let's do it again. And then  
19 the same thing happens the next time. And all of  
20 a sudden they're paying for three samples.

21 MR. BEVEGNA: Right.

22 MR. KESSLER: Which I understand is not  
23 that inexpensive --

24 MR. ROTHFEDER: If you go out there, you

1           September 10, 2024

2           should do the sample.

3                   MR. BEVEGNA: No, the samples themselves  
4           are expensive, yes. Yeah. And yes, it would be  
5           easier to lower the amount of rainfall that we  
6           respond to, the easier and more likely it is that  
7           we're going get a sample. You know, flip side of  
8           that is we don't want to be running out there  
9           every time there's a sprinkle, right. So you want  
10          it to be a significant and it should be a storm,  
11          not just rain and it should be significant  
12          amount.

13                   MR. KESSLER: So, so what happens? Are  
14          you going meet with the course again to talk  
15          about this or what's that?

16                   MR. KEHOE: I sent Eugene a follow up  
17          email. I haven't heard back from him. He, he's  
18          aware of --

19                   MR. BEVEGNA: Right.

20                   MR. KEHOE: -- what we're recommending.

21                   MR. ROTHFEDER: Right. I mean, we could  
22          put some language in that the goal is the 2.8 to  
23          go out, but if you go out and set up and it's a  
24          little bit less or by a certain amount --

1 September 10, 2024

2 MR. KESSLER: Right.

3 MR. ROTHFEDER: -- you're still going  
4 take it. And that's going be the once a year.

5 MR. KESSLER: And that'll, that'll,  
6 yeah, that'll satisfy the once a year.

7 MR. ROTHFEDER: Right.

8 MR. BEVEGNA: Right. I mean, as long as  
9 we get a sample and it's a valid sample, we're  
10 satisfied, the condition's been met.

11 MR. KEHOE: But one of the other things  
12 that we wanted to work into the protocol is that  
13 as long as you do two storm events or three, next  
14 year, the year after, the year after whatever,  
15 then we could determine that they're not needed  
16 anymore.

17 MR. BEVEGNA: Well, right. Eugene is  
18 going continue to try and eliminate something.

19 MR. BIANCHI: Sure.

20 MR. BEVEGNA: And, and, you know, to,  
21 but we could effort to appease him, we want to  
22 say, all right, well let's get a -- because we  
23 haven't had storm data for quite a while, since  
24 2013. Let us get a couple years under our belt.

1 September 10, 2024

2 Let's see what's happening.

3 MR. KESSLER: Right.

4 MR. BEVEGNA: Their record has been  
5 pretty good and it is fair to reconsider things.

6 MR. KESSLER: Okay.

7 MR. BEVEGNA: But then, you know, on the  
8 other side is Peekskill. So there's, there's a  
9 balance. I'm trying to make everybody happy, and  
10 be fair.

11 MR. ROTHFEDER: No, that works.

12 MR. KESSLER: Peekskill can chip in to  
13 pay for the test.

14 MR. BEVEGNA: The other side of that is  
15 typically the golf course should be hiring their  
16 own consultant and making these arguments. It  
17 shouldn't be me, I represent you. They should be  
18 making the arguments and then I should be  
19 reviewing their arguments and giving you my  
20 opinion.

21 MR. KESSLER: I thought they had  
22 somebody that passed away.

23 MR. BEVEGNA: He did, yes,  
24 unfortunately. So, so I'm kind of in the middle

1           September 10, 2024

2           here and --

3                   MR. KESSLER: All right. So I guess --

4                   MR. KEHOE: I'll put that all together  
5           in a resolution for next month.

6                   MR. KESSLER: Okay. And you'll get  
7           together with Eugene?

8                   MR. KEHOE: Yep.

9                   MR. KESSLER: Okay. At Hollowbrook. All  
10          right, thank you.

11                  MR. DEVEGNA: You're welcome. Have a  
12          good night.

13                  MR. KESSLER: Kevin?

14                  MR. KOBASA: I'd like to make a motion  
15          to draft a resolution to modify the storm event.

16                  MR. KESSLER: Second please.

17                  MR. MCKINLEY: Second.

18                  MR. KESSLER: And on the question, all  
19          in favor?

20                  MULTIPLE: Aye.

21                  MR. KESSLER: Opposed? Okay. Our next  
22          item is a letter dated July 27, 2024 from James  
23          Annicchiarico.

24                  MR. KESSLER: Annicchiarico.

1 September 10, 2024

2 MR. KESSLER: I should have practiced,  
3 requesting a second six month time extension of  
4 preliminary plat approval for Pomona Development,  
5 LLC, subdivision located on the south side of  
6 Revolutionary Road south of Eaton Lane. Nora?

7 MS. HILDINGER: I'd like to make a  
8 motion to grant the six month time extension for  
9 the preliminary plat approval for the Pomona,  
10 Pomona Development.

11 MR. KESSLER: Okay. And that is  
12 resolution 8-24. Second please.

13 MR. BIANCHI: Second.

14 MR. KESSLER: And all the questions, all  
15 in favor?

16 MULTIPLE: Aye.

17 MR. KESSLER: Opposed? Letter dated  
18 August 20, 2024 from David Steinmetz requesting  
19 the first one year time extension of, of  
20 conditional site development plan approval for  
21 Bilal Ahmad for a proposed hotel located at 2054  
22 East Main Street. Mr. Rothfeder?

23 MR. ROTHFEDER: Move to adopt resolution  
24 9-24 approving the extension.



1 September 10, 2024

2 MR. KESSLER: Second please.

3 MR. BIANCHI: Second.

4 MR. KESSLER: And on the question, all  
5 in favor?

6 MULTIPLE: Aye.

7 MR. KESSLER: Opposed? Our next item is  
8 a letter dated August 22, 2024 from Robert Davis  
9 regarding the proposed zoning amendment for self-  
10 storage located at the CC, Community Commercial  
11 Zoning District on Crompond Road, Route 202.  
12 Okay. So the issue here is that there is  
13 something before the town board to amend the  
14 zoning to allow self-storage on lots that are  
15 40,000 square feet or greater.

16 MR. MICHAEL CUNNINGHAM: Correct. And,  
17 and what Mr. Davis is requesting that the town  
18 board, and this is their purview, not ours,  
19 reduce that to 38,000 square feet.

20 MR. KEHOE: I think it might be 35, I  
21 think I misspoke.

22 MR. KESSLER: Oh, is it 35? I'm sorry.

23 MR. CUNNINGHAM: Yeah.

24 MR. KESSLER: I stand corrected. To

1 September 10, 2024

2 reduce it to 35,000 square feet because I guess  
3 he has a client that's looking to build a self-  
4 storage. We haven't an application yet, but, and  
5 they, and they don't meet the 40,000 square foot  
6 requirement that is pending approval by the town  
7 board. So we talked about this at the work  
8 session and, and really this is -- we gave them  
9 comments on the 40,000 zoning amendment on the  
10 40,000 square foot proposed zoning amendment and  
11 they're asking us for comments on this as well  
12 or?

13 MR. KEHOE: Well, the applicant is, not  
14 the town board.

15 MR. KESSLER: Not the town.

16 MR. KEHOE: But yes.

17 MR. KESSLER: So as we discussed at the  
18 work session, it's really an issue for the town  
19 board to decide, I would guess. But the one thing  
20 that we did discuss was, since the self-storage  
21 that is the subject of what he's proposing would  
22 be in close proximity to the existing one, the  
23 town board may want to consider that there should  
24 be, some consideration of, of distance between

1 September 10, 2024

2 any two self-storage facilities in any given  
3 place within the town.

4 MR. CUNNINGHAM: It would be the  
5 proposed, self-storage facility in, letter D is,  
6 would be in close proximity to actually the  
7 application that's the public hearing tonight.  
8 So--

9 MR. KESSLER: Mm-hmm.

10 MR. CUNNINGHAM: So to the chairman's  
11 point, it would be two self-storage facilities  
12 very close to each other.

13 MR. KEHOE: And you want to just  
14 express, not concern, but --

15 MR. KESSLER: I just, yeah, express that  
16 concern, yeah, to the town board.

17 MR. KEHOE: Okay.

18 MR. KESSLER: And again, it's, it's  
19 ultimately up to them to make the, zoning, the  
20 text, the changes to the zoning, zoning code.

21 MR. BIANCHI: I, I, I, can --

22 MR. KESSLER: Yeah, go ahead, sure.

23 MR. BIANCHI: Just, just one  
24 clarification. Personally, I don't think that

1 September 10, 2024

2 they should reduce the square footage just for  
3 one applicant. And I think that they should go  
4 to, the zoning board if they stay with the 40,000  
5 square feet, because I'd like to see an analysis  
6 done on this, especially since it's close to the  
7 other one and what the impacts will be in the  
8 zoning -- that's what the zoning board's function  
9 is.

10 MR. KEHOE: That has been discussed, so  
11 we could add that to the memo as another option  
12 that the town board consider leaving it at 40 and  
13 permit any future applicant to attempt to get a  
14 variance?

15 MR. BIANCHI: That, yeah, that's my  
16 position on it.

17 MR. KESSLER: Okay. That sounds fine.

18 MR. DOUGLAS: Right, I agree with Mr.  
19 Bianchi.

20 MR. KESSLER: All right, so, let's see.  
21 David, you want to --

22 MR. DOUGLAS: Yeah, I make a motion that  
23 we refer this matter back to staff and that,  
24 staff write a letter to the town board expressing

1 September 10, 2024

2 the points that were made by Mr. Kessler and Mr.  
3 Bianci.

4 MR. KESSLER: Second, please.

5 MR. MCKINLEY: Second.

6 MR. KESSLER: On the question, all in  
7 favor?

8 MULTIPLE: Aye.

9 MR. KESSLER: Opposed? All right, next  
10 item of the correspondence, a letter dated August  
11 29, 2024 from Michael Gray, president of the  
12 Dickerson Pond Association requesting  
13 modification of condition number 11 of the  
14 approving resolution, of resolution, was it 27-  
15 07, was that --

16 MR. CUNNINGHAM: Yes.

17 MR. KESSLER: -- the resolution number,  
18 for the Valeria development. We have a resolution  
19 to do just that, Peter.

20 MR. MCKINLEY: Sure. I'd like to make a  
21 motion for PB 18-98 to approve the resolution on  
22 hand for 27-07 for the Valeria Development for  
23 the removal of, modification, condition 11.

24 MR. KESSLER: Second, please.

1 September 10, 2024

2 MR. KEHOE: Right. The, agenda item  
3 actually said modification, but it's the removal.

4 MR. KESSLER: Removal, removal.

5 MR. KEHOE: Yes.

6 MR. KESSLER: Okay. Can I have a second?

7 MR. BIANCHI: Second.

8 MR. DOUGLAS: Second.

9 MR. KESSLER: And on the question, all  
10 in favor?

11 MULTIPLE: Aye.

12 MR. KESSLER: Opposed? Last item of the  
13 correspondence is a, to receive and file the, new  
14 lightning, lightning -- lighting ordinance, that  
15 was passed by the town board. Tom?

16 MR. BIANCHI: Mr. Chairman, I move that  
17 we receive and file the lighting standard that  
18 was provided to us and adopted on August 13,  
19 2024.

20 MR. KESSLER: Second please.

21 MR. DOUGLAS: Second.

22 MR. KESSLER: And on the question, all  
23 in favor?

24 MULTIPLE: Aye.

1 September 10, 2024

2 MR. KESSLER: Opposed? All right, onto  
3 public hearings. We have one public hearing this,  
4 evening. It's a new public hearing. It's the  
5 application of KBP Properties for site  
6 development plan approval, and a referral from  
7 the town board of a petition for a zoning text  
8 amendment for a proposed four story 75,000 square  
9 foot self-storage facility located at three  
10 Locust Avenue, latest drawings revised August 22,  
11 2024. Good evening.

12 MR. BRIAN SINSABAUGH: Hi, good evening,  
13 chairman, members of the board. My name's Brian  
14 Sinsabaugh. I'm an attorney with Zarin and  
15 Steinmetz, attorneys for the applicant, KBP  
16 properties, LLC. With me tonight, I do have Sean  
17 Barton and Michael Humphrey on behalf of the  
18 applicant. Marc Pilotta of Key Civil Engineering,  
19 our civil engineer, Joseph Neitzel, our  
20 architect, and Michael Amendola of Collier's, our  
21 traffic engineer.

22 As discussed, our application is for a  
23 proposed self-storage building. We're seeking  
24 site plan approval relating to that. This evening

1 September 10, 2024

2 I'd like to request that the board both open and  
3 close the public hearing, schedule a site visit  
4 and direct the staff to prepare a resolution  
5 adopting a negative declaration under SEQR if  
6 they so choose.

7 Just really quickly running through the  
8 building facts that we have, we have a four story  
9 with basement building, it is 15,000 square feet  
10 of building area, 75,000 square feet of floor  
11 area, total net leasable area is only 56,000.  
12 However, this is a low impact use. We did provide  
13 traffic and parking calculations for that. I  
14 believe we do require 10 spaces, but we are  
15 providing 33 spaces for shared use with the  
16 adjacent ball field, which is used by Little  
17 League, and will continue to be used by the  
18 Little League following this application.

19 The building replaces the vacant and  
20 somewhat vandalized Toddville Elementary school  
21 building. I do want to point out that we have  
22 been in correspondence with SHPO regarding a  
23 determination as to eligibility. They did release  
24 a letter stating that building is not eligible



1           September 10, 2024

2           for listing under state or national registry and  
3           they also did note that in addition, that no  
4           properties, including archeological and/or  
5           historic resources listed or eligible for New  
6           York State or national registers of historic  
7           places will be impacted by the project.

8                         We have designed the project to maintain  
9           the property's current character and the  
10          character of the neighborhood. This includes a  
11          facade comprised of EIFS brick, an EIFS limestone  
12          base, banding and decorative cornice. We have  
13          faux windows on all sides. And we also removed  
14          building signage as previously proposed. This  
15          will be a brick building very similar to what you  
16          see now.

17                        We are going be using the existing curb  
18          cut on Locust Avenue as access. The majority of  
19          off street parking will remain in the rear of the  
20          property with a handicapped parking in the front,  
21          just for safety purposes as well as, a quick, I  
22          believe one additional spot that'll allow for  
23          people to quickly come in and leave if just going  
24          to the office. Lastly, I I do want to address one

1 September 10, 2024

2 item. I, we did receive the memos, from both the  
3 town as well as consultant.

4 MR. KEHOE: And just, just for the  
5 record, the planning board just received both of  
6 those memos tonight at the same time you received  
7 those.

8 MR. SINSABAUGH: Yeah.

9 MR. KEHOE: So they haven't really had  
10 the time to address them.

11 MR. SINSABAUGH: Yep. So there's only  
12 one item I do like, would like to address on that  
13 and it's with regard to the building height. So  
14 we have proposed a building height now that is  
15 less than the existing building height. The  
16 current building is 38.52 feet. What is proposed  
17 is 37.99 feet. The building calculation that we  
18 did use was based upon the definition within the  
19 code. We did run 12 points total, which is three  
20 on each side in accordance with what the, the,  
21 town had required. And from that, that's how we  
22 come we were able to get this calculation. We did  
23 reduce this from our previous height. That was a  
24 little bit higher before, but we wanted to keep -

1 September 10, 2024

2 - we heard the comments of the board. We want to  
3 keep this in character with the community. So we  
4 reduced this to the height of what's existing on  
5 the site.

6 MR. KESSLER: So it's still three feet  
7 higher than what's currently allowed in the town?

8 MR. SINSABAUGH: We -- no, sorry. So  
9 what we have currently proposed, we are proposing  
10 a height of, I have this down here -- the  
11 building height we're proposing is 37.99 feet.  
12 The existing building height is 38.52.

13 MR. KEHOE: So, But, but the proposed  
14 code language permits 35.

15 MR. SINSABAUGH: Correct, correct. Yeah.

16 MR. KEHOE: Well, no.

17 MR. KOBASA: No, the current.

18 MR. KEHOE: The existing permits 35. You  
19 want to go above 35.

20 MR. SINSABAUGH: Correct.

21 MR. KEHOE: That'll be ultimately up to  
22 the town board.

23 MR. SINSABAUGH: Correct.

24 MR. KEHOE: Right, okay.

1 September 10, 2024

2 MR. SINSABAUGH: Correct. But I just  
3 want to clarify that what we're proposing is  
4 below the existing building height. We did  
5 provide on August 23rd a submission that included  
6 modifications from our -- resulting from our July  
7 29th staff meeting. Of those we have, with regard  
8 to the ball field, we removed the recreation  
9 area. That included permeable pavers. We will  
10 leave this the existing gravel. We did add a  
11 trash receptacle next to the concession stand.  
12 With regard to self, the self-storage use, the  
13 trash enclosure was moved to the rear of the  
14 property. It's fully enclosed and does have  
15 landscaping surrounding it. We removed the EV  
16 charging stations. That was a discussion that we  
17 had with staff. It just wasn't practical for this  
18 use to have EV charging stations where most  
19 people are going be coming in are going be  
20 utilizing the loading dock. And then the ball  
21 field is just not enough time for charging it was  
22 determined.

23 So I, I do want to point out we're still  
24 using green measures. We do have low flow

1 September 10, 2024

2 plumbing fixtures, energy efficient lighting,  
3 which has auto on and off, and LED, a central  
4 heating and cooling monitoring system and then  
5 electric HVAC. So we will not be using any fossil  
6 fuel. We're also proposing a white roof. So in,  
7 in all those measures, we believe that that is  
8 going significantly reduce what we would have in  
9 terms of energy consumption.

10 We did address fire safety and truck  
11 access, fire truck access to the site. We revised  
12 our landscape landscaping plan to utilize  
13 deciduous plants and we provided additional sign  
14 details, so that will be internally illuminated.  
15 It's what we're proposing is five feet wide by  
16 3.2 feet tall of the sign itself. So we do have  
17 that additional information provided on the plan.

18 Lastly, we did receive Westchester  
19 County Planning, a planning letter. This was back  
20 in May. The only item I do want to note if, if  
21 it's something that does go back to the town  
22 board in your comments, is that the comment  
23 number two regarding sidewalks be overridden. It  
24 is requesting that there be sidewalks provided in

1           September 10, 2024

2           front of the site, but there are no sidewalks  
3           either along Crompond Road or Locus Ave to tie  
4           into. So we're just asking that that be  
5           overridden. The remaining comments we have  
6           satisfied.

7                         At this point, I just want to open it up  
8           to see if you have any questions or if you want  
9           us to walk further through the site plan, we can.

10                        MR. KESSLER: Regarding, I thought there  
11           was some still, are there any open issues with,  
12           the, was it DEP or --

13                        MR. SINSABAUGH: Yeah, so a portion of  
14           the ball field is, is on DEP property. We have  
15           been in correspondence with them. They asked that  
16           we submit a revocable land use permit  
17           application. That was submitted back in July. We  
18           haven't heard back on from them yet, but they  
19           seemed extremely cooperative and we're  
20           cooperating with them.

21                        MR. KESSLER: Okay. So --

22                        MR. DOUGLAS: A --

23                        MR. KESSLER: Yeah, I was going open it  
24           up, but go ahead.

1 September 10, 2024

2 MR. DOUGLAS: Okay. I have a question.  
3 Did I hear you right that you would not be  
4 proposing any charging stations?

5 MR. SINSABAUGH: No. Following -- we, we  
6 were proposing them, but at the staff meeting it  
7 was determined collectively between staff and  
8 our, our consultants that those would be removed.

9 MR. DOUGLAS: Okay. Well, I have a  
10 question. I don't know what staff said, but, for  
11 charging stations near the ball fields, might  
12 that makes sense because if somebody's going be  
13 there for, you know, two hours watching a game,  
14 that seems to be the type of, you know, location  
15 where one might want to, charge their car.

16 MR. SINSABAUGH: I think the discussion  
17 was just a, just a lack of demand for it and then  
18 the flexibility with regard to the parking spaces  
19 that, that we're proposing and just  
20 maneuverability around the site. So, if it was  
21 for just simply ball field use, that is something  
22 that we could talk to staff about again. But it  
23 was, I believe it was a staff recommendation, not  
24 necessarily our recommendation to remove those.

1 September 10, 2024

2 MR. KEHOE: We, we can revisit the idea  
3 of the ball field. That wasn't really discussed.  
4 The idea of, you know, someone pulling in, going  
5 into their unit wasn't enough time on a level two  
6 charger for any --

7 MR. DOUGLAS: Right. Well, I completely,  
8 I completely agree with that.

9 MR. SINSABAUGH: Okay.

10 MR. DOUGLAS: My question has to do with  
11 the parking, you know, that's designed for, for  
12 people parking to watch the games.

13 MR. SINSABAUGH: Yeah. If, if it's  
14 something that the board would like to see, and I  
15 understand that you like to have green practices,  
16 it's something that we would definitely  
17 reconsider.

18 MR. DOUGLAS: Right.

19 MR. SINSABAUGH: And we'll talk to  
20 staff.

21 MR. DOUGLAS: Also when you say there's  
22 no demand for it, there's going to be, that's going  
23 to be increasing demand.

24 MR. SINSABAUGH: Yeah.



1 September 10, 2024

2 MR. DOUGLAS: As they're more and more  
3 EV vehicles.

4 MR. SINSABAUGH: Mm-Hmm. Yeah. I'll  
5 take, I'll take a -- we'll, we'll revisit it and  
6 talk to staff about it as well and our  
7 consultants.

8 MR. KESSLER: Okay. This is a public  
9 hearing, so is there anybody in the audience that  
10 wishes to comment on this application? Yeah,  
11 sure, come up. State your name and address for  
12 the record.

13 MR. BEN ALLEN: Good evening, members of  
14 the board, Jamie and Ben Allen. We're at 12  
15 Shipley Drive. We back one of the lots that are  
16 next to the, the ball field. We have trees in our  
17 backyard and a a stone wall. We see that there's  
18 planning for a fence in the backyard of where we,  
19 where we live and we're trying to figure out  
20 what, what type of construction work is planned  
21 to happen behind our, our property. That's,  
22 that's really why we're here. We also know that  
23 they're rezoning this property for commercial  
24 use. Right now. I, I believe it's, it's being

1 September 10, 2024

2 used for the, the water department, although  
3 vacant. We don't know what that means in terms of  
4 if they get the ability to rezone for commercial  
5 use that property, will that be able to allow  
6 them to expand over to the, residential, area? We  
7 also don't know where that line splits where,  
8 where it's partially commercial and partially  
9 residential right now. So those are the kind of  
10 questions that we have in terms of --

11 MR. KESSLER: You want to take the  
12 zoning issue?

13 MR. CUNNINGHAM: Sure. So right now what  
14 they want to do is not actually permitted by  
15 zoning. So they'd have to get approval from the  
16 town board to do it. As far as, I think you're  
17 asking about the, the lot being split zoned, so  
18 any sort of commercial --

19 MR. KEHOE: You can see that on the  
20 screen now, this line.

21 MR. ALLEN: Okay. I see the gray.

22 MS. JAMIE ALLEN: Yeah, it's so hard.  
23 The copy we got.

24 MR. ALLEN: The gray lot, okay, I see.

1 September 10, 2024

2 MR. KEHOE: So the, the, the parking and  
3 the building and the self-storage are all in the  
4 commercial zone.

5 MR. ALLEN: Sure.

6 MR. KEHOE: The, the ball field and the  
7 parking area and the proposed concession stand  
8 would be in the residential zone.

9 MR. KESSLER: So right now it is zone  
10 commercial. What they're looking to do is allow  
11 self-storage in the commercial. Do I have that  
12 right?

13 MR. CUNNINGHAM: That's correct, right.

14 MR. SINSABAUGH: That's correct.

15 MR. KESSLER: So, so it is currently,  
16 even though it's split --

17 MR. ALLEN: Right.

18 MR. KESSLER: the area that they're  
19 talking about is already zone commercial.

20 MR. ALLEN: Right. Okay.

21 MR. KESSLER: So it's up to the town  
22 board to decide whether they'll allow self-  
23 storage in a commercial zone specifically there.

24 MR. ALLEN: Okay.

1                   September 10, 2024

2                   MR. KESSLER:    So, so can we go back? So  
3                   where are you on this?

4                   MS. ALLEN:     So yeah, the survey's  
5                   incorrect. It says Bachelet, Anthony C. Bachelet.

6                   MR. ALLEN:     They were the previous  
7                   owners.

8                   MS. ALLEN:     They were, yeah, two years  
9                   ago.

10                  MR. KESSLER:    So, So we're just, can you  
11                  --

12                  MR. ALLEN:     Yep. Right there.

13                  MR. KESSLER:    Is that you right there?

14                  MR. ALLEN:     That's us.

15                  MS. ALLEN:     So one of the things we were  
16                  a little confused about was the fence that goes  
17                  behind our stone wall, but not fully along the  
18                  property. If you zoom in, it says proposed six  
19                  foot high PVC fence.

20                  MR. KEHOE:    All right. And then you're,  
21                  then it says 104 feet --

22                  MS. ALLEN:     Feet of no fence.

23                  MR. KEHOE:    -- feet of no fence.

24                  MS. ALLEN:     Yeah. So we're on that where

1 September 10, 2024

2 it says Bachelet, Anthony C, that's us. And then  
3 our neighbors, are next, yeah, right, so they  
4 don't get the fence at all. And then our property  
5 kind of gets this like, I don't know, two-thirds  
6 of it.

7 MR. KESSLER: So you'd like to have a  
8 fence, you'd like to have the complete fence?

9 MS. ALLEN: We're just trying to figure  
10 out what exactly is happening on this end of the  
11 site. We, from our perspective, it looks like  
12 there's more trees back there. We don't, it  
13 doesn't look like there's any work planned back  
14 there except this fence.

15 MR. SINSABAUGH: There's a fence that's  
16 being proposed and a new concession stand.

17 MS. ALLEN: Right. So we're just --

18 MR. SINSABAUGH: That's the extent, they  
19 won't --

20 MR. KESSLER: The concession stand is  
21 over on the left side there?

22 MR. SINSABAUGH: Yeah. Well I, I think  
23 part of --

24 MS. ALLEN: And I guess the purpose of

1           September 10, 2024

2           the fence and then the purpose to not put the  
3           fence completely?

4                   MR. KEHOE:   Okay, that's fine. You can,  
5           you're asking the questions. The applicant has to  
6           answer those questions.

7                   MR. ALLEN:   Sure.

8                   MR. KEHOE:   They're being put into the  
9           record. They can choose to answer them now or  
10          provide answers, you know, at another meeting. So  
11          don't think that people are ignoring you, it's  
12          just that those questions are better directed to  
13          the applicant, because the planning board doesn't  
14          know exactly their thought process for the fence.

15                   MR. KESSLER:   So you --

16                   MS. ALLEN:   Yeah. If you don't mind  
17          telling us the purpose of the public hearing,  
18          that would be helpful, just so we can know --

19                   MR. KESSLER:   To get your comments,  
20          that's the purpose, yeah.

21                   MS. ALLEN:   Okay.

22                   MR. KESSLER:   Oh yes. No, and again, as,  
23          as Chris said, the applicant is obligated to  
24          respond.

1 September 10, 2024

2 MR. ALLEN: Okay.

3 MS. ALLEN: Okay.

4 MR. KESSLER: But just to be clear, your  
5 preference is to have a complete fence there? We  
6 just don't know why there's any work being  
7 proposed here at all. We, I don't really --

8 MR. KESSLER: Oh, are you --

9 MS. ALLEN: We're fine with it.

10 MR. KESSLER: -- you -- status quo, you  
11 just, since nothing --

12 MS. ALLEN: We would prefer nothing to  
13 happen completely, you know, obviously. So if  
14 nothing's happening here --

15 MR. SINSABAUGH: Mr. Chairman --

16 MS. ALLEN: -- we're fine with that. I  
17 just, I don't want like two-thirds of this fence  
18 and I don't --

19 MR. SINSABAUGH: I, I believe they're  
20 replacing the existing fence that's out there.  
21 There is a fence that's slightly offset from the  
22 property line. The intention of this plan is  
23 they're removing the existing fence and replacing  
24 it with a new fence and it's going along the same

1 September 10, 2024

2 length. Currently there is an existing fence out  
3 there that goes to that same distance that's  
4 offset from your property. The fence is really  
5 far away.

6 MR. SINSABAUGH: Correct.

7 MS. ALLEN: It's barely there.

8 MR. SINSABAUGH: Yeah.

9 MS. ALLEN: This fence is shown right at  
10 our property line.

11 MR. SINSABAUGH: Correct.

12 MS. ALLEN: So the fence that you're  
13 talking about is actually behind like trees. So I  
14 have photos and everything.

15 MR. SINSABAUGH: I think they're putting  
16 the fence along the Property line here.

17 MS. ALLEN: Yeah. So you're put-- yeah,  
18 so, so the proposals just changes, it just  
19 changes it completely because the fence that's  
20 being discussed is behind a bunch of trees and  
21 forest. You never see it.

22 MR. MCKINLEY: So you're not sure of the  
23 necessity of a fence?

24 MR. KEHOE: Right. So the applicant will



1 September 10, 2024

2 have to address why they think that they need a  
3 fence there.

4 MR. KESSLER: And again, for in that  
5 picture, nothing is happening except for the  
6 fence for three quarters of --

7 MR. SINSABAUGH: Correct. And a  
8 concession stand.

9 MS. ALLEN: And we do want to, yeah, I  
10 guess our next question was just like, it says  
11 existing gravel area to remain. It's not gravel,  
12 it's woods. So I just want to --

13 MR. KEHOE: Well, yeah, that's, we did a  
14 little -- Heather did a little site inspection, I  
15 say we, but it was actually Heather. And it's  
16 mainly woods and grass in your opinion. There may  
17 have been some gravel under there, but it's more  
18 of a grass wooded area.

19 MS. ALLEN: Yeah, for sure.

20 MR. KEHOE: Yes.

21 MR. KESSLER: Okay. All right. Well we  
22 be doing a site visit.

23 MS. ALLEN: Okay.

24 MR. KESSLER: We're not, we'll keep the

1 September 10, 2024

2 public hearing open until the next meeting or  
3 longer, depending. But we're definitely going to  
4 go out and visit the site and we'll take a look  
5 at, where you're talking about, your property in,  
6 in, we'll be there, September --

7 MR. KEHOE: Sunday morning, September  
8 22nd.

9 MR. KESSLER: -- September 22nd. So if  
10 you see us out there, that's what we'll be doing.

11 MS. ALLEN: Okay. Okay.

12 MR. KESSLER: Well thank you.

13 MS. ALLEN: Oh, and then I just had a  
14 question about the buffer. I'm not sure if that  
15 can get addressed, if there's like a buffer  
16 that's required between the commercial zone. But  
17 this is residential, so I guess it doesn't  
18 matter.

19 MR. KEHOE: Right. The back part of the  
20 property is residential to residential.

21 MS. ALLEN: Right. So that's --

22 MR. KEHOE: The buffer would be required  
23 on the front.

24 MS. ALLEN: Right. Okay. Okay. Anything

1           September 10, 2024

2           else? Thank you.

3                     MR. KESSLER: Thank you.

4                     MR. MARK HITMAN: Good evening. Hi, my  
5           name is Mark Hittman and I'm right next door to  
6           Jamie and Ben, right on the corner there. Right.  
7           And, so historically, about 25 or 30 years ago  
8           when ConEd took over the building, they did  
9           indeed put a gravel parking area in that section.  
10          Not, I don't know how much, it obviously isn't  
11          where the trees are, but underneath some of that  
12          weeds and grass and dirt is gravel that they put  
13          there 20, 25 years ago because they were going  
14          have on occasion, overflow parking for their  
15          training for their plant. And my concern on this,  
16          not so much the tearing down of the Toddville  
17          School and putting up a new building that would  
18          be similar in size and volume to what they're  
19          thinking of that is there now.

20                    But I was kind of curious what was going  
21          happen in this area and whether they would have  
22          the right, if not now, at some point in the  
23          future, since it's a storage facility, whether  
24          one day that would have RVs and boats and things

1 September 10, 2024

2 like that sitting in this open area for --  
3 whether that would be allowed. That'd be one.

4 Number two is, I didn't know that the  
5 outfield of the ball field was on someone else's  
6 property either since we've, we've there, been  
7 there since 1991 and kids have played there all  
8 the time, but it never had a concession stand.  
9 And my concern about the concession stand, while  
10 that sounds friendly and community friendly,  
11 dirt, critters, vermin, maybe they could just  
12 have a food truck come while the kids were  
13 playing ball or something like that. But actually  
14 any kind of more permanent facility I thought was  
15 not a great idea.

16 And, but mostly it was what type of  
17 permission they would have to use that property  
18 in the future would be my concern.

19 MR. KEHOE: Yeah. No Storage would be  
20 permitted. No storage would be permitted because  
21 it's owned residential.

22 MR. HITTMAN: Okay. So that would be  
23 pretty much the way it is now, except for a  
24 proposed concession stand, which isn't there now

1           September 10, 2024

2           either, right.

3                   MR. KESSLER: Right.

4                   MR. HITTMAN: So those are my concerns.

5                   MR. CUNNINGHAM: And then, the entity  
6           that actually owns the field is the Department of  
7           Environmental Protection. It's a New York City  
8           agency. They actually control all the water that  
9           goes to New York City so they own a ton of land  
10          throughout the region. So it, it's owned by a New  
11          York City agency.

12                   MR. HITTMAN: Okay. And, that was it.

13                   MR. KESSLER: Okay. We'll have them --

14                   MR. HITTMAN: Thank You.

15                   MR. KESSLER: They'll respond to the  
16          concession issues, the applicant will respond to  
17          that, your concerns. Anybody else wish to comment  
18          on this application?

19                   MS. ALLEN: I just had a question.

20                   MR. KESSLER: Yeah, sure. Come on up.

21                   MS. ALLEN: It was just about the ball  
22          field, who maintains the property of the ball  
23          field? If it has like the, this the commercial  
24          owner?

1 September 10, 2024

2 MR. CUNNINGHAM: I, I think actually  
3 generally speaking, the applicant himself has  
4 been maintaining it for the most part. And then  
5 also I know the Little League does, certain work  
6 to the field. The town doesn't, we don't actually  
7 have a role in the field, even though it, it's  
8 used by, you know, recreational organizations  
9 within the town, it's not a town facility.

10 MS. ALLEN: Okay. Yeah, that was like,  
11 just because of the, the new building being  
12 proposed, just like another thing of, for  
13 maintenance, so just curious. Thank you.

14 MR. KESSLER: Anybody else wish to  
15 comment? Any more comments from the board? All  
16 right, hearing none so, as I, as I mentioned  
17 earlier, you know, we'll adjourn this public  
18 hearing. There's still some comments, that need  
19 to come from our staff regarding this and you  
20 need to respond to what we've heard. And we're  
21 also going be setting a site, visit, so, with  
22 that, Kevin?

23 MR. KOBASA: I'd like to make two  
24 motions. The first motion would be to adjourn the

1           September 10, 2024

2           public hearing to October. And the second motion  
3           would be to set the site inspection on 9/22 at  
4           9:00 a.m.

5                   MR. KESSLER: All right. So I can have a  
6           second on the two motions.

7                   MR. BIANCHI: Second.

8                   MR. KESSLER: Thank you. So, on the  
9           question, any comments, if not the all favor?

10                   MULTIPLE: Aye. Opposed?

11                   MR. KESSLER: Okay. So, so we'll be out  
12           there on September 22nd, Sunday morning at 9:00  
13           o'clock to, walk the, property. All right, onto  
14           new business, our first item is the application  
15           of Briga Enterprises and Bilotta Realty of  
16           Westchester for amended site plan approval for a  
17           2,400 square foot storage building located at  
18           2099 Albany Post Road, drawings dated March 11,  
19           2024. So, Nora, what's -- oh, you anything? Okay.  
20           I'm sorry. Before we do that, you have some  
21           comments on this.

22                   MR. SINSABAUGH: If you'd like to go  
23           ahead, you by all means you can go ahead.

24                   MR. KESSLER: Yeah. What we're doing is

1 September 10, 2024

2 to set a public hearing for the next meeting.

3 That's all I'm going do.

4 MR. SINSABAUGH: All right, totally  
5 fine, thank you.

6 MS. HILDINGER: Okay. I'd like to make a  
7 motion to set a public hearing for PB 2024-3 for  
8 October 1st.

9 MR. KESSLER: Second please.

10 MR. KOBASA: Second.

11 MR. KESSLER: And on the question, all  
12 in favor?

13 MULTIPLE: Aye.

14 MR. KESSLER: Opposed? Next item under  
15 new business, the application of -- I'm going get  
16 this wrong too, Qiang Su for the property of J  
17 Glamour Nails and Spa, Incorporated for site  
18 development plan approval for the conversion of  
19 the former La Villetta Restaurant into a nail  
20 salon for property located at 3172 East Main  
21 Street, drawings dated June 20, 2024. Mr.  
22 Lentini, good evening.

23 MR. JOHN LENTINI: Good evening, Mr.  
24 Chairman, members of the board, town staff, I've



1 September 10, 2024

2 been given a privilege to represent this  
3 application for an out-of-town architect, a young  
4 lady, Su Architects, pardon me if I mispronounce  
5 the name, but it's Qiang Su, and the owner here  
6 is in the back, Chung Lam. They own both  
7 properties. That includes the restaurant and the  
8 house next door and there's a lot of details  
9 we're still yet to work out on how -- we don't  
10 want to divide -- we don't want to combine the  
11 lots, to keep them separate. The house is  
12 residential. But we're in the process of  
13 connecting sewers to both houses that the  
14 shopping center conveniently left spurs, at the  
15 town's urging, I imagine, but it's available to  
16 us. And the town center engineer is actually in  
17 the process, has filed an application. I believe  
18 it's, 792, A-24, 792. And we have an application  
19 A-24 539 for just the La Viletta building and  
20 probably going end up filing one for the house  
21 also for what has to be done.

22 MR. KESSLER: Filing a what?

23 MR. LENTINI: Another application,  
24 because we have two, two different houses. Right

1 September 10, 2024

2 now, we would hope to just work with the one lot.

3 MR. KESSLER: Okay.

4 MR. LENTINI: You know. I'm sure the  
5 planning board will come up with some  
6 observations that would require attention. But  
7 it's a plan in progress. And I'm assuming we need  
8 a public hearing on this?

9 MR. KEHOE: Ultimately you will, but you  
10 know, as you mentioned, the plans need a lot of  
11 further refinement. So it's a recommendation to  
12 refer back to staff for additional review.

13 MR. KESSLER: Right.

14 MR. LENTINI: Before you schedule a  
15 public hearing?

16 MR. KEHOE: Yes. Yes.

17 MR. KESSLER: Yeah.

18 MR. LENTINI: Okay. And the staff would  
19 be the technical service department?

20 MR. KEHOE: Yeah, Chris Lapine is the  
21 engineer for the planning board now, and then the  
22 planning staff. It'll also --

23 MR. LENTINI: You're new?

24 MR. CHRIS LAPINE: Chris Lapine with

1 September 10, 2024

2 LaBella Associates.

3 MR. LENTINI: Oh, LaBella, okay. I  
4 haven't worked with you before, but looking  
5 forward to it.

6 MR. LAPINE: Likewise.

7 MR. LENTINI: So,

8 MR. KESSLER: Okay. So, so as Chris  
9 said, so we'll refer this back, let them review  
10 the plans and they'll issue a review memorandum  
11 for you to respond to. And once they're  
12 satisfied, we'll set a public hearing.

13 MR. LENTINI: Okay. I just ask if we  
14 have, given enough time to respond to it before  
15 the next meeting?

16 MR. KEHOE: That will be tight, you  
17 know, because this is a late meeting and the  
18 meeting is on October 1st, so we'll try to get  
19 our comments back as soon as possible, excuse me.  
20 But then the question will always be, can you  
21 address all of the comments, you know,  
22 sufficiently to get back on the agenda. So we'll  
23 work with you on that.

24 MR. LENTINI: Depending on the comments

1 September 10, 2024

2 we hope to.

3 MR. KEHOE: Right.

4 MR. KESSLER: So --

5 MR. CUNNINGHAM: And John, we can have a  
6 meeting in between now and then as far as the  
7 staff level meeting with any questions, you or  
8 your clients have.

9 MR. LENTINI: Probably that would be a  
10 good idea. I've already actually met with, code  
11 enforcement director Martin Rogers and there's a  
12 number of issues with the size of, the height of  
13 the building and we might need variances. We're -  
14 - the existing building is prior nonconforming,  
15 but then the plan, present plans, adding a  
16 balcony, will probably put us into the  
17 requirement to get a side yard variance, at  
18 least.

19 MR. CUNNINGHAM: Okay.

20 MR. LENTINI: And, that would be done, I  
21 guess in concurrence with this board, unless we  
22 could come up with a design that doesn't require  
23 variances.

24 MR. CUNNINGHAM: So John, what I would

1 September 10, 2024

2 recommend between now and the next meeting, maybe  
3 the next week or so, get together with your  
4 client, come up with what they actually want and  
5 what they would like to submit. And then maybe we  
6 can have a staff level meeting to discuss  
7 [unintelligible] [00:43:49].

8 MR. LENTINI: Okay, well they have  
9 actually sent that. We're just not showing you.  
10 Chris has it, but we talked, not to confuse  
11 issues, you know. From the original submission,  
12 we've already started answering the questions.

13 MR. CUNNINGHAM: Okay.

14 MR. LENTINI: But not completely.

15 MR. CUNNINGHAM: Sure.

16 MR. KEHOE: Well, there, there's always  
17 three components to this, right. There's the  
18 planning component, the engineering component,  
19 and the building component.

20 MR. LENTINI: Right.

21 MR. KEHOE: And Martin Rogers, the  
22 building inspector, has heavily marked up the  
23 original plan and I believe your client has  
24 responded or maybe you have as well to a lot of

1 September 10, 2024

2 Martin's comments.

3 MR. LENTINI: Yeah.

4 MR. KEHOE: But planning and engineering  
5 haven't really commented on it yet.

6 MR. LENTINI: Well, there's was another  
7 comment that was put on there about extending our  
8 lot line to cover the house next door. And I just  
9 discovered it isn't the house that looks like it  
10 was encroaching, it's just a patio.

11 MR. KEHOE: Okay.

12 MR. LENTINI: So we don't have to --

13 MR. KEHOE: Yeah, I saw Martin like  
14 possible lot line adjustments.

15 MR. LENTINI: Yeah.

16 MR. KEHOE: Right. Okay. But, but you  
17 believe that that's not necessary?

18 MR. LENTINI: I don't believe it's  
19 necessary, but we'll be very clear about that.

20 MR. KESSLER: Okay. So as we discussed,  
21 we'll refer this back. So, Jeff?

22 MR. ROTHFEDER: I move that we refer  
23 this back to staff.

24 MR. KESSLER: Second please.

1 September 10, 2024

2 MR. BIANCHI: Second.

3 MR. KESSLER: And on the question, all  
4 in favor?

5 MULTIPLE: Aye.

6 MR. KESSLER: Opposed? Okay, the next  
7 item.

8 MR. LENTINI: Thank you.

9 MR. KESSLER: Thank you. Our next item  
10 on the new business is the application of Elrac  
11 LLC doing business as Enterprise Rent-a-Car for  
12 amended site plan approval for the removal of an  
13 existing carport and the construction of an 875  
14 square foot enclosed wash bay at the Enterprise  
15 Rent-a-Car Center, located at 2077 East Main  
16 Street. Drawings dated September 3, 2024. You  
17 guys also?

18 MR. SINSABAUGH: Yes. Good evening  
19 chairman, members of the board. My name is Brian  
20 Sinsabaugh, attorney with Zarin and Steinmetz on  
21 behalf of the applicant, Elrac, LLC doing  
22 business as Enterprise Rent-a-Car. I have the, a  
23 member of the applicant is here today. So if you  
24 have any questions we can answer those, but, I'm

1           September 10, 2024

2           just going run through this pretty quickly with  
3           you just to give you a broad stroke of what we're  
4           proposing.

5                     The application is for amended site plan  
6           approval for a proposed wash bay that's going be  
7           attached to the existing office building that's  
8           on the site. Tonight, we would request that the  
9           board circulate intent to declare lead agency,  
10          refer the application to town staff for review  
11          and comment. We'd also like to schedule a site  
12          visit and public hearing if possible.

13                    The property is located in the highway  
14          commercial district and currently improved with  
15          Enterprise's office building and carport. We're  
16          seeking to remove that carport and construct a  
17          wash bay addition. The improvement to the -- this  
18          will be an improvement to the existing  
19          conditions. In, in terms of operations, currently  
20          they're using a GeoMat system. That will be  
21          replaced with a below ground oil and water  
22          separator.

23                    More importantly, the setbacks to the  
24          residential districts that are abutting this



1 September 10, 2024

2 would be increased. So, currently we have a rear  
3 yard setback to the carport of 8.3 feet. That'll  
4 be increased to 15 feet. The side yard setback  
5 is, is just below eight feet currently and would  
6 be increased to 12.8 feet. So we'd be  
7 significantly increasing our, by percentage wise,  
8 our setbacks.

9 And in addition to that, as opposed to  
10 the carport structure, that's fairly temporary,  
11 we'll have a fully enclosed structure with  
12 similar building materials that you would see in  
13 standard construction. So in terms of noise,  
14 cleanliness, visibility, everything will be  
15 improved on this site.

16 The, with regard to the actual  
17 application itself and what other approvals,  
18 approvals are required, looking back at prior  
19 approvals we did receive, we don't believe there  
20 are any variances that are required for the site.  
21 The original site plan was back in 1995. There  
22 was a waiver and they specifically, specifically  
23 referenced the same residential setback  
24 provision, section 307-23, subsection B four.

1 September 10, 2024

2 There's a waiver of that, for the carport. We are  
3 now remove -- we are actually moving further away  
4 from that buffer at this point. In addition, in  
5 April 2012, and this was EBA case number 2012-4,  
6 variances were, were granted to reduce the rear  
7 and side yard setbacks to eight feet. We are now  
8 moving beyond that for this proposed addition.

9 That's the broad level, I just want to,  
10 if there are any questions, we welcome, welcome  
11 those questions.

12 MR. KESSLER: I, I'd like to see a, just  
13 a, it'd probably be short, a summary of what the,  
14 the operation characteristics -- characteristics  
15 of the operation are. You mentioned drainage,  
16 water reuse, how you going do that, lighting, all  
17 the other stuff, you know, and hours of  
18 operation, sort of a, summary of how you going  
19 to, well, how are you going use this facility?

20 MR. SINSABAUGH: So primarily concerned  
21 with the wash bay itself, but not the overall?

22 MR. KESSLER: Right, yes.

23 MR. SINSABAUGH: Okay.

24 MR. KESSLER: Any other comments?

1 September 10, 2024

2 MS. HILDINGER: That was going to be  
3 mine.

4 MR. KESSLER: So, so, you know, again,  
5 we've received this, this evening. We're going  
6 refer this back to staff for them to write their  
7 review memorandum.

8 MR. SINSABAUGH: I have one other  
9 comment, Mr. Chairman.

10 MR. KESSLER: Sure.

11 MR. LAPINE: Perhaps, because there's  
12 the proximity to the residential neighborhood, we  
13 can get an ID of the decibels of this facility so  
14 that we know whether or not it's going impact  
15 the, neighbors.

16 MR. SINSABAUGH: Yep.

17 MR. KESSLER: Thank you. Any, okay, last  
18 call. If not, David?

19 MR. DOUGLAS: Okay. I make a motion that  
20 we refer this case back to the staff.

21 MR. KESSLER: Second, please.

22 MR. ROTHFEDER: Second.

23 MS. HILDINGER: Second.

24 MR. KESSLER: And on the question, all

1 September 10, 2024

2 in favor?

3 MULTIPLE: Aye.

4 MR. KESSLER: Opposed? All right,  
5 thanks. All right, our final item this evening.  
6 It's the application of Richard Williams on  
7 behalf of JAM storage, LLC for the property of  
8 Francisco Portillo, for site plan approval and a  
9 wetland permit for the construction of an  
10 approximately 68,000 square foot self-storage  
11 facility and related site improvements for  
12 property located at 2059 Albany Post Road,  
13 drawings dated September 4, 2024. Good evening.

14 MR. SINSABAUGH: Good evening, pleasure  
15 to see you all tonight. My name's Brian  
16 Sinsabuagh. I'm an attorney with Zarin and  
17 Steinmetz on behalf of the applicant, JAM  
18 Storage, LLC. Tonight with me I have Tim Fisher,  
19 on behalf of the applicant. And I also have Rich  
20 Williams from Insight Engineering, the engineer  
21 of record for the applicant.

22 As, as discussed or as mentioned, the  
23 application is for a site plan approval for a  
24 proposed self-storage building at 2059 Albany

1 September 10, 2024

2 Post Road. This evening, we're requesting that  
3 the board circulate intent to declare lead  
4 agency, refer the application to town staff for  
5 review and comment, schedule a site visit, as  
6 well as a public hearing, if you just deemed deem  
7 necessary at this point.

8 I know this is conceptual, but I feel  
9 like we do have some details here that we'd like  
10 to get some responses on from you this evening.  
11 The property is currently comprised of two tax  
12 lots with total lot area of 3.2 acres. It's  
13 improved with a single family dwelling, but it  
14 does have what's I, I guess what would've  
15 described as accessory contractor's yard in the  
16 site. The site is in somewhat of a level of  
17 disrepair. This application seeks to improve  
18 that, provide better site conditions as well as  
19 much needed self-storage facility to the area.

20 This is located in the HC9A district. In  
21 April 2024, the town board did determine that  
22 self-storage facilities are a use that does not  
23 adversely impact the district when they adopted  
24 the zoning amendment, making public warehousing

1 September 10, 2024

2 and storage as of right permitted use. They did  
3 note that this, that use has to be south of  
4 Memorial Drive. But with regard to that, we are  
5 just south of Memorial Drive there, as you can  
6 see on the plans.

7 The building is proposed as a two story  
8 building, a 34,000 square foot building area with  
9 a 68,000 square foot floor area. That includes  
10 all non-leasable area. The proposed use is low  
11 impact use, similar to what we were just  
12 describing on the prior application. Traffic and  
13 parking is not a huge concern for these types of  
14 uses. What is required based on IT standards for  
15 this is seven spaces and that's what we've  
16 provided on our application.

17 The part, this notably, I'd like to  
18 state also that that parking count does not  
19 include the loading dock area. So an area where  
20 primarily parking would take place is not  
21 included in that parking count.

22 We do have the applicant here. I also  
23 have Rich Williams here who could walk you  
24 further through the application if you have

1 September 10, 2024

2 questions. But I'd like to open up to questions  
3 of the board.

4 MR. KESSLER: So, so it's currently two  
5 separate lots is, is --

6 MR. SINSABAUGH: That's correct.

7 MR. KESSLER: And you're looking to  
8 combine them?

9 MR. SINSABAUGH: They would be, yeah. If  
10 mergers necessary, they'd be, they're currently  
11 under different ownership, not of our applicant,  
12 but, yeah, they would be as part of a purchase  
13 that would take place. I'd have to confirm with  
14 the applicant though, if we are merging.

15 MR. KESSLER: Any, any comments on this?

16 MR. KOBASA: Your entire storm water is  
17 within the wetland, the storm water pond?

18 MR. SINSABAUGH: Yeah. So there is some  
19 background to that wetland piece and I'll have  
20 Rich Williams speak to that.

21 MR. RICH WILLIAMS: So --

22 MR. KOBASA: In the buffer.

23 MR. KESSLER: Will you identify yourself  
24 please?

1 September 10, 2024

2 MR. WILLIAMS: Sure. Good evening, Rich  
3 Williams with Insight Engineering. So the  
4 stormwater practice is within the buffer. We  
5 actually do not have wetland disturbance. There  
6 is I think 8,700 square feet of wetland, which  
7 would be locally regulated as well as Army Corps  
8 regulated on the property. The areas with which  
9 we are proposing disturbance within the buffer  
10 currently exists as developed areas,  
11 predominantly lawn. So we would be taking that  
12 lawn area and converting it into a pocket pond.  
13 We're currently doing a review internally as  
14 there's a new stormwater design manual out, to  
15 make sure that what we were conceptualizing, you  
16 know, a couple of months ago, will meet the  
17 current code and we'll look forward to updating  
18 it to the current standards.

19 MR. KESSLER: Any other comments?

20 MR. DOUGLAS: Just a quick question. The  
21 residence, is that in the HC9A zone also, or is  
22 that in a residential zone?

23 MR. WILLIAMS: The entire property in  
24 HC9A.



1 September 10, 2024

2 MR. KESSLER: And the residence is  
3 currently occupied?

4 MR. WILLIAMS: Correct. If, if we  
5 welcome the board to do a site walk, and if you  
6 do, you'll, you'll see a little bit about what  
7 Brian was talking about.

8 MR. KESSLER: We'll have to get to  
9 review memorandum from the staff. Again, we just  
10 received this, this evening. Staff will --

11 MR. KEHOE: Well you could, you know, in  
12 theory, I mean it's out of order, but if you're  
13 going be out there on the 22nd, you could do both  
14 of them rather than waiting a month or two and do  
15 it again. It's up to you. I mean, you may not  
16 have a lot of detail if you're out there on the  
17 22nd, but it's your call.

18 MR. KESSLER: Any thoughts?

19 MR. DOUGLAS: It feels early. I think  
20 it's --

21 MR. KEHOE: Okay. So it's --

22 MR. BIANCHI: I think it is too early.

23 MR. KEHOE: They feel it's early for a  
24 site inspection.

1 September 10, 2024

2 MR. KESSLER: So we'll refer this back  
3 and get the review memorandum and, you'll respond  
4 to that and then we'll move forward with this so  
5 --

6 MR. DOUGLAS: I'd like to see more, as  
7 you go with more detail about green building --

8 MR. SINSABAUGH: Yeah.

9 MR. DOUGLAS: -- features that you're  
10 going to have.

11 MR. SINSABAUGH: I, I do think it would  
12 maybe be beneficial as we move forward though, if  
13 you are open to doing a site visit that day to  
14 have seen the property just as we go on  
15 describing it. Because I understand the wetland  
16 concerns and we've described it, but I just want  
17 to make sure it's clear for the board if it may  
18 help understanding in terms of the application.

19 MR. KOBASA: Brian, could you, comment,  
20 I, I think your, your EAF indicates somewhere  
21 55,000 square feet of disturbance within the  
22 buffer. Can you elaborate on what are the,  
23 measures that are proposing for restoration or  
24 enhancement to make up for that buffer

1 September 10, 2024

2 disturbance? And can you also speak to the  
3 current impervious within the buffer and what's  
4 being proposed?

5 MR. SINSABAUGH: Sure.

6 MR. WILLIAMS: So right now there is  
7 8,700 square feet of wetland on the property,  
8 40,000 or 41,000 square feet of buffer area on  
9 the property. We are not proposing any wetland  
10 disturbance, but are currently proposing 36,000,  
11 almost 37,000 square feet of buffer disturbance.  
12 And again, on the, once you scroll up, on the  
13 left hand side of the site running page up, page  
14 down Right there, that is the buffer line, which,  
15 takes up a, a large portion of the property.  
16 Again, the current limits of disturbance or, or  
17 limits of lawn, extend almost to the edge of the  
18 wetland, which is obviously a hundred feet in  
19 from that line.

20 As far as mitigation, we are proposing  
21 about 16,000 square feet of mitigation. And  
22 candidly, one of the things and the reasons why  
23 we made our submission, this is a very  
24 preliminary set of drawings in my opinion is we

1           September 10, 2024

2           did want to talk about the wetlands, the buffer  
3           disturbance, the current condition of the site,  
4           and be open to feedback.

5                   MR. KESSLER: So the proposed, you said  
6           37,000 square foot buffer disturbance?

7                   MR. WILLIAMS: It's 36,532 square feet.

8                   MR. KESSLER: And, and that is the  
9           building?

10                   MR. WILLIAMS: It is, if we scroll to,  
11           we proposed site plan.

12                   MR. KESSLER: Oh Yeah.

13                   MR. WILLIAMS: You can see the buffer  
14           line coming through. It is --

15                   MR. KESSLER: Yeah.

16                   MR. WILLIAMS: -- in part the building.  
17           It is also one of the things we tried to do is  
18           create circulation around the building, both for  
19           our own needs because we do have overhead doors  
20           around the outside of the building, but also, for  
21           fire department access.

22                   MR. LAPINE: I'll say I have concern on  
23           the driveway, on the left hand side of the  
24           building. You are, you've got to be like three

1 September 10, 2024

2 feet off of the wetland line.

3 MR. WILLIAMS: Understood.

4 MR. KOBASA: And I don't under -- your  
5 grading doesn't show how you're going meet that  
6 unless there's a wall along that edge. You show  
7 one contour, I don't know which drawing it's on,  
8 So SP2, you show a 34 that's going over, yeah. I  
9 don't know how that grading's going work or how  
10 you're not going to disturb the wetland, even if  
11 you're building a wall too.

12 MR. WILLIAMS: Okay.

13 MR. LAPINE: If you could clarify, you  
14 said there's 36,000 square feet of disturbance,  
15 maybe, just check because the EAF mentions  
16 54,000. That's why I asked the question.

17 MR. WILLIAMS: Okay, we'll check.

18 MR. KESSLER: Fifty-four you say?

19 MR. LAPINE: That's what the EAF  
20 indicates.

21 MR. WILLIAMS: I believe that's our  
22 total site disturbance. But we will, I'll double  
23 check the numbers.

24 MR. KESSLER: Okay. Are we going have a

1                   September 10, 2024

2                   wetland consultant look at this?

3                   MR. KEHOE: He already has it.

4                   MR. KESSLER: Oh, he has?

5                   MR. KEHOE: He's looked at it purely for  
6                   the purposes of delineation really and sort of a  
7                   general discussion of the characteristics.

8                   MR. KESSLER: Right.

9                   MR. KEHOE: But he'll be involved to  
10                  give his opinions about the impacts of this  
11                  development on the wetland and the wetland  
12                  buffer.

13                  MR. KESSLER: Oh yeah, I got it. Okay.

14                  MR. KOBASA: Will this particular  
15                  project be impacted by the new DEC regulations in  
16                  terms of wetland ordinances come January 1st? Is  
17                  this a wetland that the DEC may consider taking  
18                  over or is this something on their radar?

19                  MR. WILLIAMS: At this point, I don't  
20                  believe we're going hit the new thresholds, but  
21                  we will look into that as well.

22                  MR. KOBASA: Okay.

23                  MR. WILLIAMS: That's a good question.

24                  MR. KESSLER: All right, any further

1           September 10, 2024

2           comments, questions? So we'll, you know, do the  
3           same thing, refer this back, have staff prepare a  
4           memorandum with their questions for you to  
5           respond to. So if nothing else, Tom?

6                     MR. BIANCHI: Chairman, I'll move that  
7           we refer this back to staff for review.

8                     MR. KESSLER: Second, please.

9                     MR. MCKINLEY: Second.

10                    MR. DOUGLAS: Second.

11                    MR. KESSLER: And on the question, all  
12           in favor?

13                    MULTIPLE: Aye.

14                    MR. KESSLER: Opposed? All right, Mr.  
15           Kabasa?

16                    MR. KOBASA: The time is 7:29. The  
17           meeting's adjourned.

18                    MR. KESSLER: Thank you.

19                    (The public board meeting concluded at  
20           7:29 p.m.)

CERTIFICATE OF ACCURACY

I, Ryan Manaloto, certify that the foregoing transcript of the board meeting of the Town of Cortlandt on September 10, 2024 was prepared using the required transcription equipment and is a true and accurate record of the proceedings.

Certified By

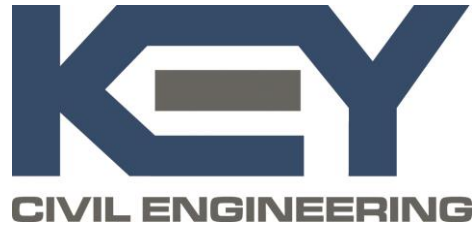


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Date: September 26, 2024

GENEVAWORLDWIDE, INC  
228 Park Ave S - PMB 27669  
New York, NY 10003





664 Blue Point Road, Unit B Holtsville, NY 11742  
P: (631) 961-0506 F: (631) 619-0367  
www.keycivilenengineering.com

**September 25, 2024**

File Number: 24001

**TOWN OF CORTLANDT PLANNING BOARD**

1 Heady Street  
Cortlandt Manor, NY 10567

**ATTENTION:** Mr. Chris Kehoe, AICP, Director – Department of Planning & Community Development

**REGARDING: PROPOSED SELF-STORAGE FACILITY**

3 Locust Avenue  
Cortlandt Manor, NY 10567  
**Section 34.5, Block 2, Lot 6**  
**PB 2024-1**

Dear Mr. Kehoe:

We have reviewed your comments from the Memorandum dated 09/10/2024 and have addressed them as follows:

Site Design:

1. The topographic changes to the portion of the site around the building will result in a marked increase in the ground level as it steps back from the intersection. Although the proposed new building height has been reduced to less than the existing, the roof elevation of the new structure will functionally be 4' higher than the existing roof. This differential, paired with the overall increase in the size/bulk of the new building, could make it "feel" even bigger/taller than anticipated.

**Response: Duly noted.**

2. The site plan shows a 10' wide strip of asphalt running beyond the existing curb north of the dumpster and striping areas. Per the truck turning diagrams it doesn't appear to be necessary for vehicle maneuverings. What is the purpose of this strip of asphalt?

**Response: The referenced asphalt area was added to provide access for any proposed food trucks or ambulances that would need access to the bleacher area.**

3. Where permeable pavers had previously been proposed in the rear area of the lot, the site plan now states "existing gravel to remain." Per a staff site visit, the area appears to be grass, not gravel. The applicant shall confirm.

**Response: The plans have been revised to indicate the existing grass area shall remain.**

4. Previous discussions with the applicant included mention of a porta-potty to be located on-site, primarily for use by the Little League. If that is still proposed, it must be shown on the site plan.

**Response: A proposed portable toilet has been indicated on the plans.**

Parking:

5. The Parking Calculations table states that 10 parking spaces are required for the self-storage use, and 33 spaces are proposed. We understand that the extra spaces are related to the on-site ballfield use, which must be reflected in the Parking table. The applicant should provide written clarification as to how the proposed number of spaces for the ballfield was determined, and should explore the possibility of shared parking between the two uses, and possibly reducing the initial amount of parking provided through the inclusion of some land-banked spaces.

**Response: The plans have been revised to show Truegrid Pro-Lite grass pavers in the parking area along the westerly property line. The ballfield parking requirements will be provided to your office under a separate cover letter by the project's traffic engineer.**

Landscaping:

6. The westerly parking lot contains 30 spaces. As per §307-22 of the Zoning Code, parking areas with 30 or more spaces require a minimum of 5% of the total area within the perimeter of the parking area to be landscaped, and that landscaping must be provided within the perimeter of said parking area. The Compliance Chart on sheet C-5 incorrectly states that this requirement is "NIA." The applicant must include additional landscaping within the perimeter of the westerly lot, and clearly show how the 5% minimum requirement is met.

**Response: The 15 parking stalls along the westerly property line have been replaced with grass; as such the total parking stalls provided in the westerly parking lot have been decreased to 15 stalls.**

7. In the landscaping Compliance Chart, the applicant has indicated that the project's noncompliance with the buffering requirements per §307-23 will require a "variance." However, we recommend the applicant request a waiver from the Planning Board, not a variance from the Zoning Board of Appeals.

**Response: Duly noted, the compliance chart has been updated to indicate the Planning Board waiver requirement.**

8. The addition of three deciduous trees between the building and Locust Avenue is noted; deciduous trees should also be included in the lawn area between the building and Crompond Road.

**Response: The Landscape Plan has been revised to add 3 additional deciduous trees along the Crompond Road frontage.**

Fencing and Retaining Wall:

9. Sheet C-1 (site plan) has multiple notes stating that existing 6' and 12' high chain link fences are to remain (around property boundary and ballfield). Sheet C-2 (removals) has multiple notes that existing

fences are to be removed. Applicant should clarify whether or not the fences are proposed to remain. We suggest that removal of the chain link fencing along Crompond Road and Locust Avenue is preferred, along with retaining the fencing buffer between adjacent residential properties to the west and around the ballfield.

**Response: Please refer to the legend on the Site Removals Plan for clarification on which fences will be removed and which will remain.**

10. Sheet C-2 (site removals) notes that the existing retaining wall along the north edge of the entrance driveway will be removed, but sheet C-3 (grading/drainage) indicates a retaining wall will remain, per the topo notes along the drive that reference elevations at the top and bottom of the wall. The applicant shall confirm whether the retaining wall will remain, and correct the submitted information accordingly.

**Response: The existing retaining wall on the north edge of the existing driveway will be removed and replaced with a new segmental block retaining wall. We believe that our plan correctly indicates same and we are unclear as to why there is any confusion.**

Lighting:

11. The Town recently adopted new outdoor lighting regulations. As they have yet to be incorporated into eCode, see attached for reference. The proposed lighting must comply with those regulations.

**Response: Duly noted.**

12. The maximum average lighting level permitted is 1.0 footcandle (fc), proposed is 1.67 fc;

**Response: The previous plan set calculated the average lighting level, using the parking lot area only. The average lighting level has been recalculated, using the entire site's lot area. Utilizing the entire lot area reduces the lighting average to below the maximum permitted 1.0 footcandle**

13. The maximum proposed site-wide lighting level of 6.2 fc is much higher than necessary, and we note it increased from 3.8 fc in the previous revision. In revising the lighting to meet the various requirements of the new regulations, it is expected that this number will decrease substantially;

**Response: The plan has been revised and the maximum proposed site-wide lighting level is 5.80 fc.**

14. The eastern canopy shows one under-canopy fixture ("C") while the western canopy does not appear to include an under-canopy fixture; applicant shall confirm if that is correct. In addition, we note that the area around the eastern canopy shows four fixtures - two emergency lights, one wall pack, and one under-canopy light. Given the higher footcandle levels in that area, the applicant should consider whether any of those fixtures can be removed.

**Response: The plans have been revised to eliminate any illumination from the proposed emergency lighting, as the emergency lights will only activate during an emergency.**

15. Per the luminaire schedule, the color temperatures of all selected fixtures are non-compliant at either 3,000K or 5,000K. The maximum CCT permitted is 2,700K.

**Response: The proposed lighting fixture has been changed to provide a fixture with a color temperature of 2,700K per the new lighting code.**

16. Lighting levels to the north of the building along the entrance drive are much higher than necessary, likely due to the excessive number of wall packs (A) shown on the north wall. Given that there are no building access points or pedestrian facilities immediately north of the building, most if not all of those wall packs could be removed.

**Response: The change in the proposed lighting fixture has reduced the lighting levels along the north side of the building.**

Architectural Elevations:

17. The elevations should clearly indicate the proposed height above grade of the proposed canopies above the loading areas on the east and west sides of the building.

**Response: Duly noted**

18. The applicant shall clarify the overall dimensions of the proposed canopies, including their depth from outer edge to building facade.

**Response: The elevations have been revised to clarify the requested information.**

19. All proposed exterior building-mounted lighting shall be shown on the architectural elevations.

**Response: The elevations have been revised to indicate the building-mounted lighting fixtures.**

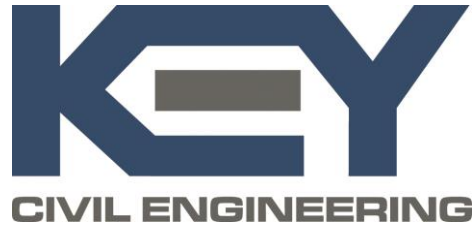
If you have any questions or require additional information regarding this application, please do not hesitate to contact our office.

Sincerely,  
**KEY CIVIL ENGINEERING, P.C.**



Marc Pilotta, P.E.  
Principal

CC: Mike Humphrey, Sean Barton – 3 Locust Avenue LLC (w/ enclosures via email)  
Brian T. Sinsabaugh, Esq. – Zarin & Steinmetz (w/ enclosures via email)



664 Blue Point Road, Unit B Holtsville, NY 11742  
P: (631) 961 - 0506 F: (631) 619 - 0367  
[www.keycivilengineering.com](http://www.keycivilengineering.com)

**September 25, 2024**

File Number: 24001

**TOWN OF CORTLANDT PLANNING BOARD**

1 Heady Street

Cortlandt Manor, NY 10567

**ATTENTION:** Mr. Chris Kehoe, AICP, Director – Department of Planning & Community Development

**REGARDING: PROPOSED SELF-STORAGE FACILITY**

3 Locust Avenue

Cortlandt Manor, NY 10567

**Section 34.5, Block 2, Lot 6**

**PB 2024-1**

Dear Mr. Kehoe:

We have reviewed the comments provided by LaBella dated 09/06/2024 and have addressed them as follows:

Administrative

1. ALL plans subsequently submitted to the Town for review must be designed for construction and be complete for review by all regulatory agencies having jurisdiction (e.g. WCDOH, NYSDOT, NYSDEC, etc.).

**Response: Duly noted.**

2. Applicant shall be required to meet the standards set forth in Chapter 157 – Excavations and Topsoil Removal should publication of this chapter become available during the design process at the discretion of the Town Planning Board. Applicant shall provide a current Cortlandt Consolidated Water District approval for the connection to the existing water district.

**Response: Duly noted.**

Plans

1. Sheet C-1: Delineate heavy duty asphalt and light duty asphalt sections. Heavy duty asphalt sections shall be provided where fire trucks, refuse vehicles and SU 30 will utilize the access drives.

**Response: Our intent is to utilize one pavement section for all the proposed asphalt areas. Further, we believe that the proposed asphalt section shown on the plans is adequate for SU30 trucks and fire apparatus.**

2. Sheet C-1: Three parking space are identified on the eastern side of the building. Ingress and egress to the ADA accessible space nearest the building will require car movements immediately adjacent to the entry way to the facility, which impacts pedestrian circulation. As the proposed plan exceeds the on-site parking requirements, one ADA accessible space shall be eliminated on the easterly portion of the building and relocated to the western parking Lot; and the remainder of parking shifted east resulting two spaces (ADA space and parking space), Additionally, bollards shall be provided outside the entry doors. These measures will reduce the opportunity for vehicular movements from encroaching upon the entry way to the facility.

**Response: The plans have been revised to show Truegrid Pro-Lite grass pavers in the parking area along the westerly property line. The project now proposes a total of 17 parking stalls. One of the ADA at the front has been removed, as one is only required per state code when the total number of parking stalls is less than 26. The requested bollards have been added to the easterly sliding door entrance.**

3. Sheet C-1: 33 parking spaces are proposed where 10 are required for the proposed project. It is understood additional parking is being provided for the benefit of the adjoining ball field. These spaces are typically utilized during the spring, summer, and fall. As these additional spaces will not be necessary during the winter, the Planning Board shall consider requesting the Applicant to convert the 15 spaces on the western portion of the property to grass pavers, as grass pavers are a more eco-friendly approach, in terms of increasing green space on-site and minimizing stormwater runoff.

**Response: See comment response above.**

4. Sheet C-1: Please provide the following notes:
  - a) The applicant is aware that the disturbed areas shall be 100% stabilized and planted prior to the issuance of a Certificate of Occupancy.
  - b) The applicant shall submit an as-built foundation survey to the Town of Cortlandt prior to framing.
  - c) Prior to the backfilling of any storm water best management practice or water supply, DOTS-Engineering shall be notified to perform an inspection.
  - d) Prior to the issuance of the Certificate of Occupancy (C.O.), the Town will require a certification from a NYS Engineer that the completed site work and drainage improvements will not cause an adverse impact to adjoining or downstream properties.
  - e) Backflow prevention devices shall be installed in accordance with University of Southern California List of Approved Backflow Prevention Devices, NYSDOH Guidelines for Designing Backflow Prevention Assembly Installations, and Building Code,

**Response: The requested notes have been added to Sheets C-1 and C-4.**

5. Sheet C-1: Note 32. Remove Joe Fusilo, PE, ENV SP, and replace with Town Planning Board Engineer.

**Response: The note has been revised as requested.**

6. Sheet C-1, C-1A. and C4: Please provide the following notes on the plans:
- Permittee is to maintain work zone traffic control plan in accordance with Section 104 of Highway Law, while working within the Town Right-of-Way.
  - Road Closures are not permitted.
  - Overnight excavation will not be permitted.

**Response: The requested notes have been added to the plans.**

7. Sheet C-1A: Specify contractor shall call in Town Code 53 to locate the service connection at the watermain. If Code 53 does not locate service main connection at main, contractor shall perform GPR to Locate service connection prior to demolition/disconnection. Indicate existing water service lateral shall be cut at the corporation valve, bent back, crimped or capped and encased (valve and end of service lateral) in KCRETE. Remove minimum next 3-ft of water service lateral and abandon in place to property line. Should the service lateral be ductile iron, the line shall be removed up to the valve. The valve shall be closed, flanged and capped (using mega lug connections) and encased in 4,000 psi. Lastly, specify contractor shall provide a traffic control plan to the highway department for approval prior to performing the work.

**Response: Duly noted.**

8. Sheet C-1A: Provide delineation of saw cut line within Locust Avenue for existing water service lateral.

**Response: Sheet C-1A is for purposes of calculating the existing and proposed building heights; adding the saw cut line for the proposed water services would only clutter the drawing and as such we respectfully request that the comment be omitted.**

9. Sheet C-1A: Please provide the following notes on the plans:
- Contractor shall Locate and remove all components of the existing subsurface sewage disposal system servicing the existing building.
  - Septic tanks, leaching fields, and other similar facilities associated with the existing building shall be pumped free of septage or sewage, removed and the resulting hole shall be backfilled in lifts of compacted suitable fill material.
  - Tanks shall be pumped by a NYSDEC Certified Septic Waste Transporter and removed from the site in accordance with NYSDEC transport and disposal requirements.
  - The abandonment and/or decommissioning of the existing subsurface sewage disposal system must be in accordance with the procedures approved by the Westchester County Department of Health and certified by a licensed NYS Professional Engineer.

**Response: The requested notes have been added to Sheet C-1A.**

10. Sheet C-3: Are their roof leaders on the eastern side of the facility? If so, where do they discharge?

**Response: There are no roof leaders on the easterly side of the proposed building. The building's roof will pitch from east to west, only requiring a roof leader on the west side of the building.**

11. Sheet C-3: Outlet/overflow pipe shall be provided for drywells B-2:B-4.



**Response: The applicant is proposing to overflow out of structure B-1 and via land flow into Locust Avenue. Since infiltration is being proposed, this will improve conditions from what is existing and we respectfully request that this be accepted.**

12. Sheet C-3: Show locations and results of on-site test pits and fatting head tests associated with the on-site stormwater management system. Proper separation between the bottom of drywell system to ground water and bedrock cannot be confirmed without requested results.

**Response: The test pit locations have been added to sheet C-3, along with a table of the results for the same.**

13. Sheet C-3: Provide pre-treatment measures (including calculations in drainage report) prior to discharging runoff into dry welts.

**Response: A sump on all the proposed catch basins have been added, as a pretreatment measure.**

14. Sheet C-3: It is unclear where the existing on-site drainage structure located on the southern side of the site discharges too. This should be investigated and depicted on the plans.

**Response: It was determined that the existing on-site drainage structure along Crompond Road is connected to the existing drainage infrastructure at the corner of Crompond Road and Locust Avenue. The plans have been revised to depict the same.**

15. Sheet C-3: Proposed fence is set back three feet from retaining wall along the along access drive. Detail on Sheet C-4 should be updated to reflect fence post location and how geogrid will be placed around the post.

**Response: The segmental wall detail has been revised to indicate how the fence post and geogrid will be placed.**

16. Sheet C-4: Potable water and fire supply:

- a) Depict points of connection of potable water supply and fire supply. Identify 1.5-ft separation requirement between proposed water supply and stormwater lines.
- b) Potable water service connection must be type k-copper or CL 54 DIP.
- c) Applicant must provide a separate fire service using CL Class 54 DIP. A service saddle, with a pressure rating of 200 psi and tested at 150% of water Line pressure, shall be required.
- d) Applicant shall receive approval from the Westchester County Department of Health (WCDOH) prior to the installation of any potable water or fire service.
- e) Applicant shall receive approval and permit from the New York State Department of Transportation (NYSDOT) prior to the installation of any potable water or fire service within the rights-of-way of the NYSDOT



- f) Backflow preventors shall be provided on the potable water and fire supply. Add note indicating, backflow preventors shall be designed in accordance with University of Southern California List of Approved Backflow Prevention Devices, NYSDOH Guidelines for Designing Backflow Prevention Assembly Installations, and Building Code and approved by the Town of Cortlandt's DOTS and Westchester County Department of Health.

**Response: Duly noted and the requested revisions have been made.**

17. Sheet C-5: Identify areas for soil restoration in accordance with Sheet C-8.

**Response: The areas of soil restoration have been identified as requested.**

18. Sheet C-5: Expand note 14 to include: A backflow preventer shall be provided on the interior feed to the irrigation system. A backflow preventer shall be designed in accordance with University of Southern California List of Approved Backflow Prevention Devices, NYSDOH Guidelines for Designing Backflow Prevention Assembly Installations, and Building Code and approved by the Town of Cortlandt's DOTS and Westchester County Department of Health.

**Response: The note has been revised as requested.**

19. Sheet C-5: Identify the depth of soil beneath the Deciduous and Evergreen Shrub Planting Detail.

**Response: Details depicted the requested information.**

20. Sheet C-7 Provide and erosion and sediment control sequencing schedule.

**Response: See the top left corner of Sheet C-8.**

21. Sheet C-7 Area data depicts 35,470 sf of impervious area on-site. Provided engineer's report indicates 33,690 sf. Please clarify.

**Response: The drainage report has been revised.**

22. Sheet C-7 Shift construction container so it does not encroach on top of the drywells.

**Response: The construction trailer is not shown on top of any drywells.**

23. Sheet C-7: Delineate the limits of disturbance.

**Response: The limits of disturbance are defined with the "LCGD" line text. Same has been added to the legend.**

24. Sheet C-7: Provide erosion and sediment control matting on slopes of 25% or more.

**Response: Note there are no proposed slopes greater than 25%.**

25. Sheet C-9: Provide a detail of the 6-foot high PVC Fence.

**Response: The requested detail has been added.**

26. Sheet C-9: Provide heavy-duty asphalt pavement detail.

**Response: See comment response #1.**

27. Sheet C-9: Provide 12-inch of NYSDOT Type II subbase beneath the catch basin.

**Response: The detail has been revised as requested.**

28. Sheet C-9: Dry well detail:

- a) Eliminate grate callouts.
- b) Specify geotextile fabric.
- c) Two material callouts are provided for fill surrounding the structure. They are different materials. Please clarify.
- d) Specify a subbase for the concrete collar on the bottom of the structure.
- e) Add notes indicating drywell and cover to support H-20 traffic loads. concrete strength of drywells. rebar/WWF requirements.
- f) Sheet C-9: Provide water details.
- g) Sheet C-9: Provide a detail of the dumpster gates.
- h) Sheet C-9: Provide trench details for stormwater and water:
- i) Sheet C-9: Add attached notes related to the water details.

**Response: The details have been revised as requested.**

#### Engineer's Report

29. The proposed project will require the completion of a comprehensive Stormwater Pollution Prevention Plan. The Applicant has provided and Engineer's Report for Stormwater Quantity and Quality. The provided document lacks supporting documentation, as mentioned within, to verify the findings of the Engineering Report. Specifically, the following shall be provided:

- a) Provide soil test results, locations, and depths for any stormwater testing in the engineer's report. This shall include all falling head tests and depths at which they were performed.
- b) Provide on-site required runoff reduction/water quality calculations: including volumes provided for within each drywell system for meeting the required volumes.
- c) Provide watershed maps to verify drainage areas tributary to each stormwater practice and design point.
- d) Provide hydrologic and hydraulic modeling results for both the pre and post developed conditions for the site.
- e) Sheet C-7: Area data depicts 35,470 sf of impervious area on-site. Provided engineer's report indicates 33,690 sf. Please clarify.

**Response: see below comments for the 09/10/2024 LaBella Memo.**

We have reviewed the comments provided by LaBella dated 09/10/2024 and have addressed them as follows:

Plans

1. Sheet C-3: Drywell systems should be designed offline. Provide upstream bypass for both systems.

**Response: The systems have been designed to be offline.**

Engineer's Report

2. On Page 3 of the Engineers report, the total area of disturbance is listed at 0.719 acres and also 55,080 sf. 55,080 sf is 1.264 acres. Identify the total disturbance for the project.

**Response: The Engineer's report has been revised accordingly.**

3. Provide soils testing in order to confirm adequate depths, volumes, and infiltration rates have been provided. within the stormwater modeling.

**Response: The soil infiltration results have been added to the report.**

4. Demonstrate the impervious areas being captured by the drywells A to satisfy the water quality volumes.

**Response: See page 4 of the report.**

5. Since minimal to no changes are occurring within drainage areas C and D, omission is acceptable.

**Response: Duly noted**

6. Inconsistencies exist between the plan set, report narrative and the HydroCAD model. For example, the 10-year flow is shown as 2.99 cfs in the overview table on page 5 of the narrative and 3.23 cfs in the HydroCAD model. Revise the plan set, narrative, and HydroCAD model for consistency.

**Response: The report has been revised to eliminate all inconsistencies.**

7. The sizing information provided in the HydroCAD model for Drywell System A does not match the information provided on sheet C-3 of the plant set. Revise the HydroCAD model to be consistent with the plans.

**Response: The plans and report have been revised.**

8. Identify the location of the 24" horizontal orifice outlet for Drywell systems A and B. Please note that an outlet should be provided for each system.

**Response: The horizontal orifice has been eliminated for system A. The horizontal orifice for system B represents the grate from which the system will overflow.**



TOWN OF CORTLANDT  
3 Locust Avenue  
Cortlandt Manor, NY  
September 25, 2024  
Page 8

If you have any questions or require additional information regarding this application, please do not hesitate to contact our office.

Sincerely,  
**KEY CIVIL ENGINEERING, P.C.**

A handwritten signature in black ink that reads "Marc Pilotta". The signature is written in a cursive style.

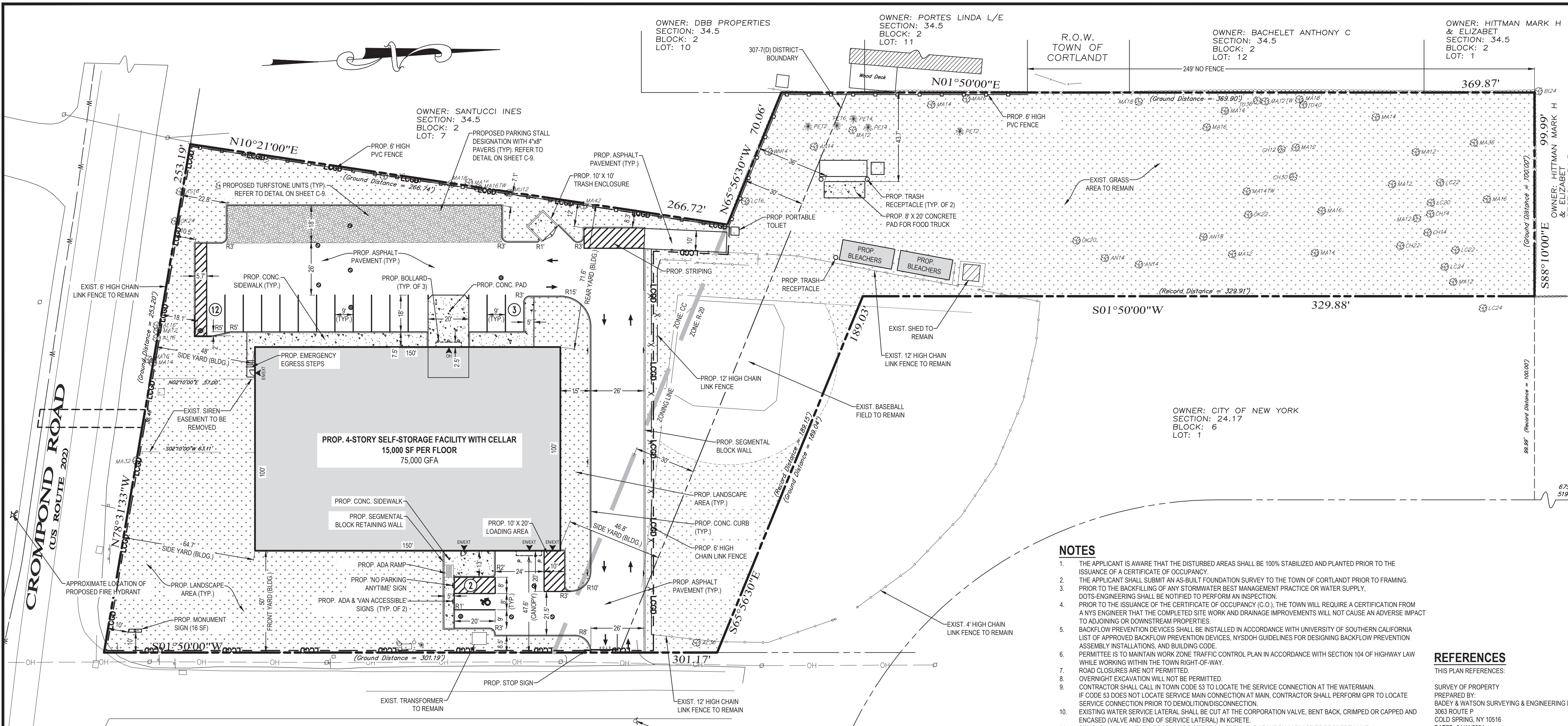
Marc Pilotta, P.E.  
Principal

MP/km

CC: Mike Humphrey, Sean Barton – 3 Locust Avenue LLC (w/ enclosures via email)  
Brian T. Sinsabaugh, Esq. – Zarin & Steinmetz (w/ enclosures via email)

**CML & CONSULTING ENGINEERS**





**GENERAL SITE NOTES**

- UNSATURATED MATERIAL, CONSTRUCTION DEBRIS, EXCESS SOILS, ETC. SHALL BE PROPERLY REMOVED AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, AND LAWS.
- THE CONTRACTOR IS RESPONSIBLE TO TAKE EROSION CONTROL MEASURES NECESSARY IN ACCORDANCE WITH NYS STANDARDS AND SPECIFICATIONS FOR EROSION & SEDIMENT CONTROL TO PREVENT SEDIMENT AND/OR LOOSE DEBRIS FROM WASHING ONTO ADJACENT ROADWAYS AND PROPERTIES.
- ALL ON-SITE CONCRETE SHALL BE IN CONFORMANCE WITH ALL PROVISIONS. ALL CURBING SHALL BE CONCRETE UNLESS OTHERWISE NOTED.
- RELOCATION AND/OR REMOVAL OF EXISTING UTILITY POLES, TRAFFIC SIGNS, ETC., SHALL BE COORDINATED BY THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR FIELD-VERIFYING THEIR PRESENCE.
- CONTRACTOR SHALL SAWCUT TO THE FULL DEPTH OF EXISTING PAVEMENT WITH A STRAIGHT VERTICAL EDGE FREE FROM IRREGULARITIES WHEREVER NEW PAVEMENT JOINS EXISTING PAVEMENT. CONTRACTOR SHALL DETERMINE EXACT LOCATION AND EXTENT OF THE REQUIRED SAWCUTTING IN ORDER TO PERFORM THE WORKSCOPE DEPICTED ON THE PLANS. TWO FT MINIMUM FUR CURBS, PADS, WALKS, AND WALLS TO PERMIT PROPER COMPACTION OF THE REPLACED SURFACES.
- REMOVAL INCLUDES, BUT IS NOT LIMITED TO, CURBING, PAVEMENT, UNSUITABLE MATERIALS, AND UNDERGROUND PIPING. QUESTIONABLE ITEMS ENCOUNTERED (ABOVE AND/OR BELOW GRADE) SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER OF RECORD IMMEDIATELY IN WRITING BEFORE REMOVAL OR DISTURBANCE.
- THE CONTRACTOR SHALL EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO EXISTING FOUNDATIONS AND OTHER STRUCTURES TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING THE APPROPRIATE MEASURES AS NECESSARY TO ENSURE THE STRUCTURAL STABILITY OF EXPOSED AND/OR BELOW GRADE FOUNDATIONS/WALLS/SIDEWALKS AND PAVEMENT TO PROVIDE A SAFE WORK AREA. ANY DAMAGE OR DISTURBANCE DUE TO SUBJECT WORKSCOPE SHALL BE REPAIRED TO LIKE-KIND CONDITIONS AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PROTECT PEDESTRIANS AND VEHICULAR TRAFFIC REMOVAL ACTIVITIES. ANY TRAFFIC CONTROL, ACCESS, AND SAFETY PROVISIONS WITHIN THE R.O.W. AND ACCESS ROUTES (E.G. ACCESSIBLE RAMPS, PEDESTRIAN CROSSWALKS, SIDEWALKS, PAVEMENT STRIPING, ETC.) SHALL BE THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR SHALL DETERMINE APPROPRIATENESS OF REMOVAL ACTIVITIES AND PROVIDE TEMPORARY MEASURES FOR THE PROTECTION AND SAFETY OF THE PUBLIC UNTIL PERMANENT COMPONENTS/REPLACEMENTS CAN BE INSTALLED.
- IF SHORING AT A DEPTH GREATER THAN 5' IS REQUIRED TO ACCOMMODATE CONSTRUCTION ACTIVITIES, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO RETAIN A LICENSED PROFESSIONAL ENGINEER TO DESIGN THE REQUIRED SHEETING AND SHORING DETAILS. SHEETING SHALL BE IN CONFORMANCE WITH OSHA REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT LOCATION, SIZE, TYPE, AND DEPTH OF UTILITIES (PRING, DRYSWELLS, ETC.) PRIOR TO THE START OF ANY WORK. THE CONTRACTOR MUST CONTACT THE APPROPRIATE LOCAL "ONE CALL" SYSTEM TO ENSURE THAT ALL UTILITIES ARE PROPERLY AND COMPLETELY MARKED OUT IN THE FIELD PRIOR TO ANY WORK AT THE SITE. ANY DISCREPANCIES BETWEEN THE FIELD LOCATIONS AND THE PLANS SHALL BE REPORTED TO THE ENGINEER IN WRITING IMMEDIATELY. THE CONTRACTOR IS ADVISED THAT UTILITY INFORMATION SHOWN ON THE PLAN IS A COMPILATION OF FIELD LOCATIONS, ABOVEGROUND STRUCTURES THAT WERE VISIBLE AND ACCESSIBLE IN THE FIELD, AND RECORD DRAWINGS AVAILABLE AT THE TIME OF THE SURVEY AND MUST BE CONFIRMED ACCORDINGLY. THE CONTRACTOR SHALL COORDINATE UTILITY DISCONNECTION WITH THE APPLICABLE UTILITY COMPANIES PRIOR TO REMOVAL ACTIVITIES. THE CONTRACTOR IS ALSO ADVISED THAT ALL SUCH FACILITIES DISTURBED DURING CONSTRUCTION MUST BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL COMPLETELY FILL BELOW GRADE AREAS AND VOIDS RESULTING FROM THE REMOVAL OF STRUCTURES AND SOIL CONSISTING OF MATERIALS FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. STONES USED SHALL NOT BE LARGER THAN 6 INCHES IN DIMENSION. PRIOR TO PLACEMENT OF FILL MATERIALS, UNDER TAKE ALL NECESSARY ACTIONS IN ORDER TO ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROST, FROZEN MATERIAL, TRASH AND DEBRIS. PLACE FILL MATERIALS IN HORIZONTAL LAYERS NOT EXCEEDING 6 INCHES IN LOOSE DEPTH AND COMPACT EACH LAYER AT PLACEMENT TO 95% OPTIMUM DENSITY. GRADE THE SURFACE TO MEET ADJACENT CONTOURS AND TO PROVIDE SURFACE DRAINAGE. REFER TO PROVISIONAL REPORT (IF PROVIDED) FOR FURTHER RECOMMENDATIONS. REFER TO GRADING PLAN FOR PROPOSED SURFACE ELEVATIONS.
- UNDERGROUND STORAGE TANKS, IF ENCOUNTERED, SHALL BE EMPTIED, CLEANED AND REMOVED FROM THE SITE IN ACCORDANCE WITH FEDERAL, STATE, COUNTY, AND LOCAL REQUIREMENTS.
- PROPOSED TREE PROTECTION FENCE TO BE INSTALLED BEFORE THE START OF REMOVAL ACTIVITIES AND TO BE REMOVED AFTER CONSTRUCTION IS COMPLETE. REFER TO LANDSCAPE PLAN FOR DETAILS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH THE SPECIFICATIONS OF THE LOCAL AUTHORITIES REGARDING MATERIALS AND INSTALLATION OF PROPOSED WORK. FOR OBTAINING THE REQUIRED PERMITS, SIGN OFFS, AND CONSTRUCTION INSPECTIONS, ACCORDING TO GOVERNING BUILDING CODES AND DISPOSAL OF ALL MATERIAL IN ACCORDANCE WITH STATE AND LOCAL LAW.
- SIDEWALKS, CURBS, OR OTHER EXISTING SITE APPURTENANCES DAMAGED BY CONSTRUCTION SHALL BE REPAIRED OR REPLACED IN KIND OR UNLESS NOTED OTHERWISE (UNO), WHETHER SPECIFIED ON THIS PLAN OR NOT, AT THE SOLE COST OF THE CONTRACTOR.
- THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS.
- SEQUENCE AND COORDINATION OF CONSTRUCTION IS SOLELY THE CONTRACTOR'S RESPONSIBILITY.
- ANY UTILITIES INCLUDING POLES REQUIRED TO BE RELOCATED DUE TO THE INSTALLATION OF THE REQUIRED IMPROVEMENTS SHALL BE RELOCATED AT THE EXPENSE OF THE APPLICANT/OWNER/DEVELOPER/CONTRACTOR.
- ALL TRAFFIC ROAD MARKINGS, ROAD SIGNS, AND LIGHT SIGNALS THAT MAY HAVE BEEN MOVED OR DAMAGED IN THE PROCESS OF CONSTRUCTION SHALL BE RESTORED AT THE APPLICANT'S EXPENSE TO AT LEAST THE SAME QUALITY AND CHARACTERISTICS THAT EXISTED BEFORE CONSTRUCTION BEGAN. THE APPLICANT SHALL BE FURTHER RESPONSIBLE TO INSURE THAT, IN THE ROADWAYS ADJACENT TO THE CONSTRUCTION SITE, THESE MARKINGS, SIGNS AND SIGNALS ARE MAINTAINED DURING THE ENTIRE PERIOD OF CONSTRUCTION. IF REPLACEMENT OR UPGRADE IS REQUIRED, SAME MUST BE APPROVED BY THE TOWN OF CORTLANDT DEPARTMENT OF ENGINEERING SERVICES, DIVISION OF TRAFFIC SAFETY AND TRANSPORTATION PLANNING.
- ALL ACCESSIBLE PARKING, CURB RAMPS, AND OTHER APPURTENANCES OF ACCESSIBLE ROUTES ARE TO MEET THE REQUIREMENTS OF THE 2020 NYS BUILDING CODE CHAPTER 11-ACCESSIBILITY, AND ICC/ANSI A117.1 - 2009.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORKSCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODE.
- THE CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST O.S.H.A. STANDARDS AND REGULATIONS, OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF O.S.H.A., AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES.
- THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEAN-OUT TOPS SHALL BE ADJUSTED, IF REQUIRED, TO MATCH PROPOSED GRADES IN ACCORDANCE WITH ALL APPLICABLE STANDARDS.
- IN CASE OF DISCREPANCIES BETWEEN PLANS AND FIELD CONDITIONS, IMMEDIATELY NOTIFY THE PROJECT ENGINEER IN WRITING OF ANY CONFLICTS.
- CONTRACTOR SHALL BE REQUIRED TO SECURE ALL NECESSARY PERMITS AND APPROVALS FOR ALL OFF-SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. CONTRACTOR SHALL SUPPLY A COPY OF APPROVALS TO PROJECT ENGINEER AND OWNER PRIOR TO INITIATING WORK.
- CONTRACTOR SHALL DOCUMENT, WITH PHOTOS, CRITICAL STAGES OF CONSTRUCTION AND PROVIDE TO ENGINEER OF RECORD AT END OF CONSTRUCTION.
- THE CONTRACTOR SHALL PERFORM THE WORK AS SHOWN ON THE PLANS AND SPECIFIED HEREIN. THE PLANS SHOW THE GENERAL SCOPE OF THE WORK AND DO NOT NECESSARILY SHOW ALL DETAILS REQUIRED FOR COMPLETE FINISHED WORKING SYSTEMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIALS AND LABOR AS NECESSARY FOR THE CONSTRUCTION OF COMPLETE WORKING SYSTEMS.
- ELECTRICAL WORK SHALL BE IN CONFORMANCE WITH THE NATIONAL ELECTRICAL CODE (NEC).
- ALL EXCAVATIONS MUST BE BACKFILLED AT THE END OF EACH WORK DAY OR PROTECTED WITH TEMPORARY FENCING IN COMPLIANCE WITH OSHA REGULATIONS.
- DEWATERING (IF REQUIRED) SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL & STATE REGULATIONS, AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ANY NECESSARY ASSOCIATED DISCHARGE PERMITS.
- SIGNS TO BE FILED UNDER SEPARATE APPLICATIONS BY OTHERS.
- ALL PROPOSED IMPORT FILL MUST BE TESTED AND CERTIFIED AS UNRESTRICTED, SUITABLE FOR RESIDENTIAL USE IN ACCORDANCE WITH TOWN POLICY. CERTIFICATION MUST BE PROVIDED BY A LICENSED PROFESSIONAL GEOTECHNICAL ENGINEER. ALL CERTIFICATIONS SHALL BE ADDRESSED "TOWN PLANNING BOARD ENGINEER". ALL SOIL ANALYTICS AND REPORTS WILL BE FORWARDED TO THE TOWN'S PLANNING BOARD ENGINEER FOR REVIEW AND APPROVAL.



**PROJECT DATA**

APPLICANT/OWNER: 3 LOCUST AVENUE LLC  
42 ADELPHI ROAD  
GARRISON, NY 10524

TAX MAP NUMBER: Sect.34.5, Block 2, Lot 6

SITE AREA: OVERALL AREA = 110,078.59 SF (2.527 Acres)  
DISTRICT BOUNDARY AREA = 65,899.39 SF (1.513 Acres)

CURRENT USE: CON ED TRAINING CENTER

PROPOSED USE: SELF-STORAGE FACILITY

EXISTING FOOTPRINT: 5,786 SF

PROPOSED FOOTPRINT: 15,000 SF

GROSS FLOOR AREA: CELLAR: 15,000 SF  
ENTRY LEVEL: 15,000 SF  
SECOND LEVEL: 15,000 SF  
THIRD LEVEL: 15,000 SF  
FOURTH LEVEL: 15,000 SF  
TOTAL: 75,000 SF

NO.	DATE	BY	DESCRIPTION
8	09/24/24	JK	REV. PER TOWN COMMENTS
7	08/06/24	JR	UPDATED PER SWPPP
6	08/22/24	JR	SHEET UNAFFECTED
5	08/06/24	JR	REV. PER TOWN COMMENTS
4	06/20/24	JR	REV. PER TOWN COMMENTS
3	06/03/24	JR	REV. PER TOWN COMMENTS
2	05/01/24	JR	REV. PER ATTORNEY COMMENTS
1	04/15/24	JR	REVISE BULK TABLE

**REVISIONS**

**CIVIL ENGINEERING**  
664 BLUE POINT ROAD, UNIT B  
HOLTSVILLE, NEW YORK 11742  
(631) 961-0506  
www.KeyCivilEngineering.com

**PROJECT NAME**

**PROPOSED SELF-STORAGE FACILITY**

3 LOCUST AVENUE  
CORTLANDT MANOR, NY 10567  
COUNTY OF WESTCHESTER  
SECTION: 34.5, BLOCK: 2, LOT: 6

**DRAWING TITLE**

**SITE PLAN**

DATE: 03/22/2024  
SCALE: 1" = 30'  
PROJECT NUMBER: 24001  
DRAWING BY: JR  
CHECKED BY: JF  
APPROVED BY: MP

SEAL & SIGNATURE:  
MARC PILOTTA, P.E.  
NEW YORK STATE PROFESSIONAL ENGINEER #081598

ALTERNATION OR ADDITION TO THIS DOCUMENT EXCEPT BY A LICENSED PROFESSIONAL ENGINEER IS A VIOLATION OF THE PROFESSIONAL ENGINEERING SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW.

DRAWING NO.: **C-1**  
PAGE No: 1 OF 11

**NOTES**

- THE APPLICANT IS AWARE THAT THE DISTURBED AREAS SHALL BE 100% STABILIZED AND PLANTED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- THE APPLICANT SHALL SUBMIT AN AS-BUILT FOUNDATION SURVEY TO THE TOWN OF CORTLANDT PRIOR TO FOOTING.
- PRIOR TO THE BACKFILLING OF ANY STORMWATER BEST MANAGEMENT PRACTICE OR WATER SUPPLY, DOTS/ENGINEERING SHALL BE NOTIFIED TO PERFORM AN INSPECTION.
- PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY (C.O.), THE TOWN WILL REQUIRE A CERTIFICATION FROM A NYS ENGINEER THAT THE COMPLETED SITE WORK AND DRAINAGE IMPROVEMENTS WILL NOT CAUSE AN ADVERSE IMPACT TO ADJOINING OR DOWNSTREAM PROPERTIES.
- BACKFLOW PREVENTION DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH UNIVERSITY OF SOUTHERN CALIFORNIA LIST OF APPROVED BACKFLOW PREVENTION DEVICES, NYSOEH GUIDELINES FOR DESIGNING BACKFLOW PREVENTION ASSEMBLY INSTALLATIONS, AND BUILDING CODE.
- PERMITTEE IS TO MAINTAIN WORK ZONE TRAFFIC CONTROL PLAN IN ACCORDANCE WITH SECTION 104 OF HIGHWAY LAW WHILE WORKING WITHIN THE TOWN RIGHT-OF-WAY.
- ROAD CLOSURES ARE NOT PERMITTED.
- OVERNIGHT EXCAVATION WILL NOT BE PERMITTED.
- CONTRACTOR SHALL CALL IN TOWN CODE 53 TO LOCATE THE SERVICE CONNECTION AT THE WATERMAIN.
- IF CODE 53 DOES NOT LOCATE SERVICE MAIN CONNECTION AT MAIN, CONTRACTOR SHALL PERFORM GPR TO LOCATE SERVICE CONNECTION PRIOR TO DEMOLITION/CONNECTION.
- EXISTING WATER SERVICE LATERAL SHALL BE CUT AT THE CORPORATION VALVE, BENT BACK, CRIMPED OR CAPPED AND ENCASED (VALVE AND END OF SERVICE LATERAL) IN KORETE.
- REMOVE MINIMUM NEXT 3" OF WATER SERVICE LATERAL AND ABANDON IN PLACE TO PROPERTY LINE. SHOULD THE SERVICE LATERAL BE DUCTILE IRON, THE LINE SHALL BE REMOVED UP TO THE VALVE.
- THE VALVE SHALL BE CLOSED, FLANGED AND CAPPED (USING MEGA LUG CONNECTIONS) AND ENCASED IN 4,000 PSI. CONTRACTOR SHALL PROVIDE A TRAFFIC CONTROL PLAN TO THE HIGHWAY DEPARTMENT FOR APPROVAL PRIOR TO PERFORMING THE WORK.
- CONTRACTOR SHALL LOCATE AND REMOVE ALL COMPONENTS OF THE EXISTING SUBSURFACE SEWAGE DISPOSAL SYSTEM SERVICING THE EXISTING BUILDING.
- SEPTIC TANKS, LEACHING FIELDS, AND OTHER SIMILAR FACILITIES ASSOCIATED WITH THE EXISTING BUILDING SHALL BE PUMPED FREE OF SEPTAGE OR SEWAGE, REMOVED AND THE RESULTING HOLE SHALL BE BACKFILLED IN LIFTS OF COMPACTED SUITABLE FILL MATERIAL.
- TANKS SHALL BE PUMPED BY A NYSDEC CERTIFIED SEPTIC WASTE TRANSPORTER AND REMOVED FROM THE SITE IN ACCORDANCE WITH NYSDEC TRANSPORT AND DISPOSAL REQUIREMENTS.
- THE ABANDONMENT AND/OR DECOMMISSIONING OF THE EXISTING SUBSURFACE SEWAGE DISPOSAL SYSTEM MUST BE IN ACCORDANCE WITH THE PROCEDURES APPROVED BY THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH AND CERTIFIED BY A LICENSED NYS PROFESSIONAL ENGINEER.

**REFERENCES**

THIS PLAN REFERENCES:  
SURVEY OF PROPERTY  
PREPARED BY:  
BACEY & WATSON SURVEYING & ENGINEERING P.C.  
3053 ROUTE P  
COLD SPRING, NY 10516  
DATED: 01/11/2024

BUILDING ARCHITECTURAL LAYOUT  
PREPARED BY:  
JMM ARCHITECTURE P.C.  
406 NORTH COUNTRY ROAD  
SAINT JAMES, NY 11780  
DATED: 02/02/2024

SUBSOIL INVESTIGATIONS  
PREPARED BY:  
SOIL MECHANICS DRILLING CORP.  
3770 MERRICK ROAD  
SEAFORD, NY 11783  
DATED: 02/12/2024

VICINITY MAP BACKGROUND DATA  
PROVIDED BY MAPS GOOGLE.COM

**BULK ZONING TABLE**  
ZONING DISTRICT: CC  
SPECIAL PERMIT FOR SELF-STORAGE FACILITY IN THE CC ZONING DISTRICT

ITEM	SECTION	CURRENT PERMITTED/REQUIRED	PROPOSED PERMITTED/REQUIRED	EXISTING BUILDING	PROPOSED BUILDING
MINIMUM LOT AREA	307 ATTACHMENT 5	15,000 SF	40,000 SF	110,078.59 SF (2.527 ACRES)	DISTRICT BOUNDARY AREA 65,899.39 SF (1.513 ACRES)
MINIMUM LOT WIDTH	307 ATTACHMENT 5	100'	200'	464.2'	277.9'
MAXIMUM BUILDING HEIGHT	307 ATTACHMENT 5	2-1/2 STORIES/35'	4 STORIES/44'	2 STORIES/38.52'	4 STORIES/38.00'
MINIMUM FRONT YARD	307 ATTACHMENT 5	30'	30'	56.6' (LOCUST AVENUE)	50.0' BUILDING (LOCUST AVENUE) 47.6' CANOPY (LOCUST AVENUE)
MINIMUM SIDE YARD	307 ATTACHMENT 5	10'	20'	76.6'	48.0'
MINIMUM REAR YARD	307 ATTACHMENT 5	10'	20'	111.1'	71.6'
MAXIMUM BUILDING COVERAGE	307 ATTACHMENT 5	25%	25%	22.8% (15,000 SF) WITHIN DISTRICT BOUNDARY (EXCLUDING PROPOSED CONGRESSION STAND) 13.6% (15,000 SF) WITHIN OVERALL AREA (EXCLUDING PROPOSED CONGRESSION STAND)	22.8% (15,000 SF) WITHIN DISTRICT BOUNDARY (EXCLUDING PROPOSED CONGRESSION STAND) 13.6% (15,000 SF) WITHIN OVERALL AREA (EXCLUDING PROPOSED CONGRESSION STAND)
MINIMUM LANDSCAPE AREA	307 ATTACHMENT 5	30%	35%	WITHIN DISTRICT BOUNDARY 45.5% (29,965 SF) 29,965 SF/69,624 SF = 43.04% 69,624 SF/110,078.59 = 63.24% INFIELD DIRT AREA OF BASEBALL FIELD NOT INCLUDED	WITHIN DISTRICT BOUNDARY 45.5% (29,965 SF) 29,965 SF/65,899.39 = 45.49% 69,624 SF/110,078.59 = 63.24% INFIELD DIRT AREA OF BASEBALL FIELD NOT INCLUDED
MAXIMUM BUILDING FLOOR AREA	307 ATTACHMENT 5	12,000 SF NO SINGLE USE OTHER THAN A FOOD STORE SHALL OCCUPY MORE THAN 4,000 SF	75,000 SF FOR SELF-STORAGE FACILITY	11,572 SF	75,000 SF

**PARKING CALCULATIONS**

ITEM	SECTION	CURRENT PERMITTED/REQUIRED	PROPOSED PERMITTED/REQUIRED	PROPOSED
MINIMUM STALL SIZE	307-33	9' x 18'	9' x 18'	9' x 18' 9' x 20'
MINIMUM AISLE WIDTH	307-33	25'	25'	26'-0"
MINIMUM NUMBER OF STALLS	307-29	SELF-STORAGE FACILITY NA	SELF-STORAGE FACILITY 1 STALL PER EMPLOYEE = 1 STALL PER 10,000 SF OF GFA 2 EMPLOYEES = 2 STALLS 75,000 SF/10,000 SF = 7.5 STALLS 10 STALLS REQUIRED	17 STALLS (INCLUDING 1 ADA STALLS)

**PROPOSED ON-SITE SIGNAGE COMPLIANCE CHART**

ITEM	SECTION	PERMITTED/REQUIRED	PROPOSED
MAXIMUM FREESTANDING SIZE	245 ATTACHMENT 1	MAXIMUM SIZE = 16 SF	16 SF
MAXIMUM FREESTANDING HEIGHT	245 ATTACHMENT 1	MAXIMUM HEIGHT = 10'	4.7'
WALL SIGN SIZE	245 ATTACHMENT 1	1 SF PER 2 LF OF BUILDING FRONTAGE MINUS THE SF OF FREESTANDING OR PROJECTION SIGNS 1 SF PER 2'1088' = 73 SF - 16 SF = 59 SF PERMITTED	NO WALL SIGNS PROPOSED
WALL SIGN HEIGHT	245 ATTACHMENT 1	10 FEET, BUT NOT ABOVE EAVE LINE	NO WALL SIGNS PROPOSED

**PROPOSED BUILDING HEIGHT CALCULATIONS**

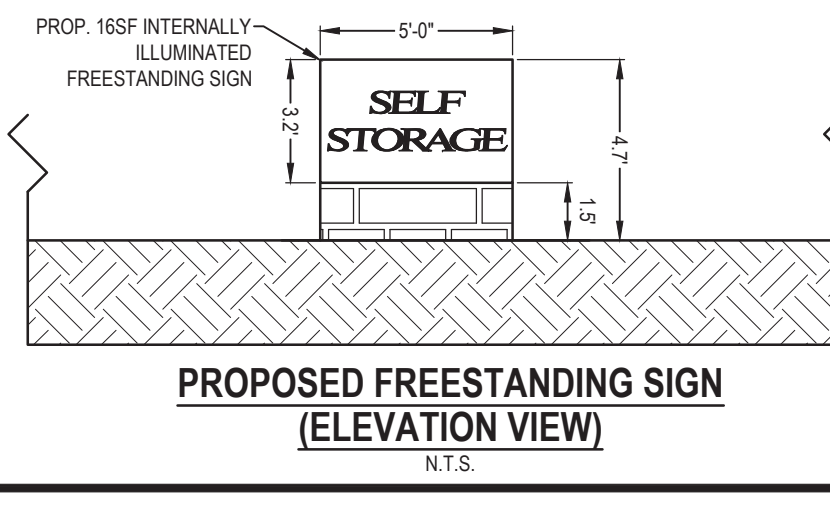
ITEM	SECTION	PROPOSED AVERAGE GRADE ELEVATION 20' FROM BUILDING	PROPOSED TOP OF ROOF ELEVATION	PROPOSED BUILDING HEIGHT
MAXIMUM BUILDING HEIGHT	307 ATTACHMENT 5	NORTH ELEVATION = 389.86 EAST ELEVATION = 383.62 SOUTH ELEVATION = 389.17 WEST ELEVATION = 393.67	NORTH ELEVATION = 427.58 EAST ELEVATION = 427.58 SOUTH ELEVATION = 427.58 WEST ELEVATION = 427.58	NORTH = 37.72' EAST = 43.96' SOUTH = 38.41' WEST = 33.91' AVERAGE = 38.20'

**EXISTING BUILDING HEIGHT CALCULATIONS**

ITEM	SECTION	EXISTING AVERAGE GRADE ELEVATION 20' FROM BUILDING	EXISTING TOP OF ROOF ELEVATION	EXISTING BUILDING HEIGHT
MAXIMUM BUILDING HEIGHT	307 ATTACHMENT 5	NORTH ELEVATION = 384.95 EAST ELEVATION = 384.33 SOUTH ELEVATION = 384.10 WEST ELEVATION = 385.00	NORTH ELEVATION = 423.0' EAST ELEVATION = 423.4' SOUTH ELEVATION = 423.0' WEST ELEVATION = 423.0'	NORTH = 38.05' EAST = 39.07' SOUTH = 38.9' WEST = 38.0' AVERAGE = 38.52'

**LEGEND**

EXISTING	ITEM	PROPOSED
---	PROPERTY LINE	---
▭	BUILDING	▭
▭	DOOR LOCATION	▭
▭	CONCRETE CURB	▭
▭	SIGN	▭
○	BOLLARD	○
○	UTILITY POLE	○
---	CHAIN LINK FENCE	---
---	WALL	---
⊕	WATER VALVE	⊕
⊕	FIRE HYDRANT	⊕
---	OVERHEAD WIRE	---
□	INLET	□
○	MANHOLE	○
→	PAVEMENT MARKING	→
○	TREE	○
○	PARKING COUNT	○
▭	LANDSCAPE/GRASS/WOODED AREA	▭
▭	PERMEABLE PAVING	▭
▭	CONCRETE	▭

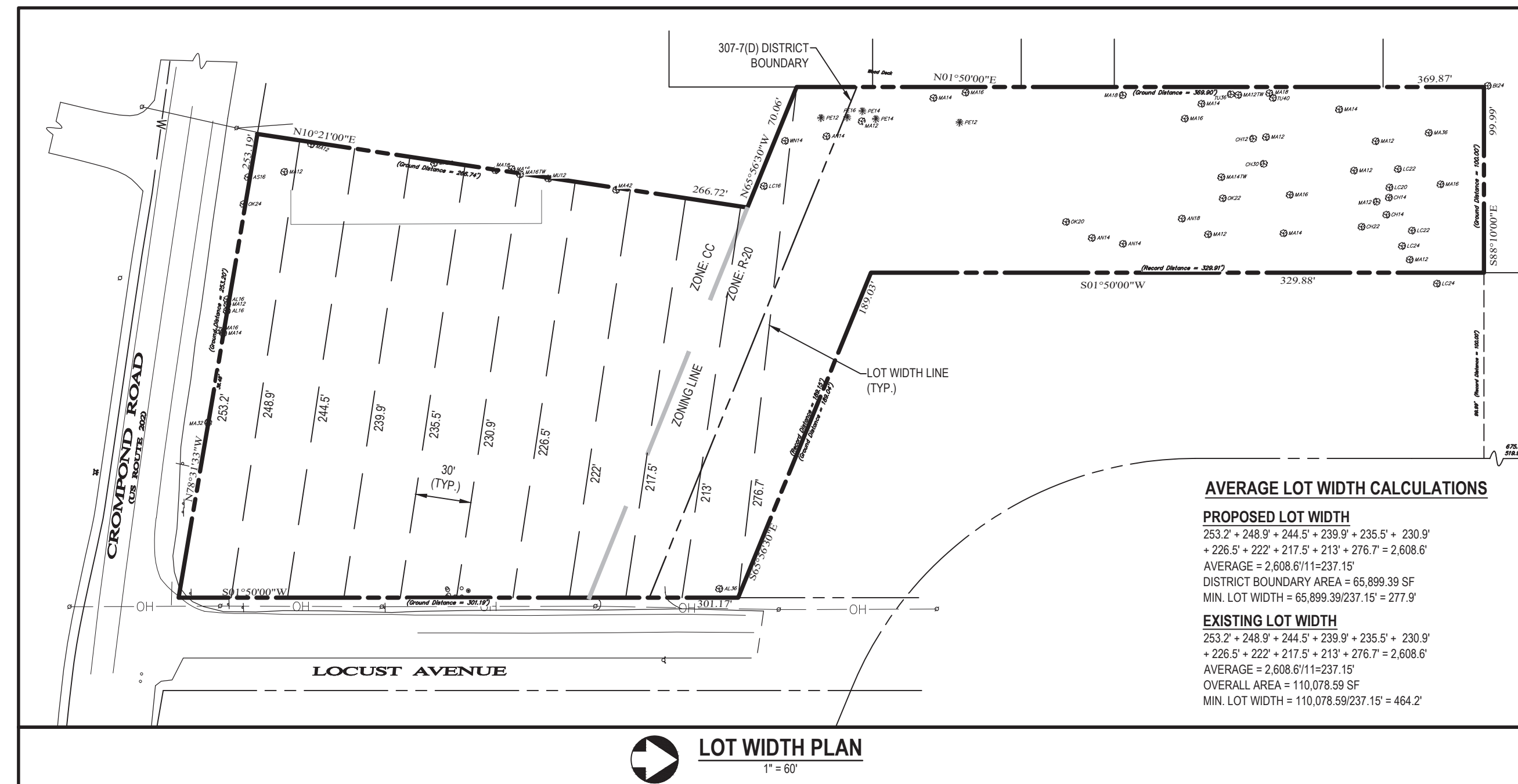


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**GRAPHIC SCALE**  
(IN FEET)  
1 inch = 30 ft.



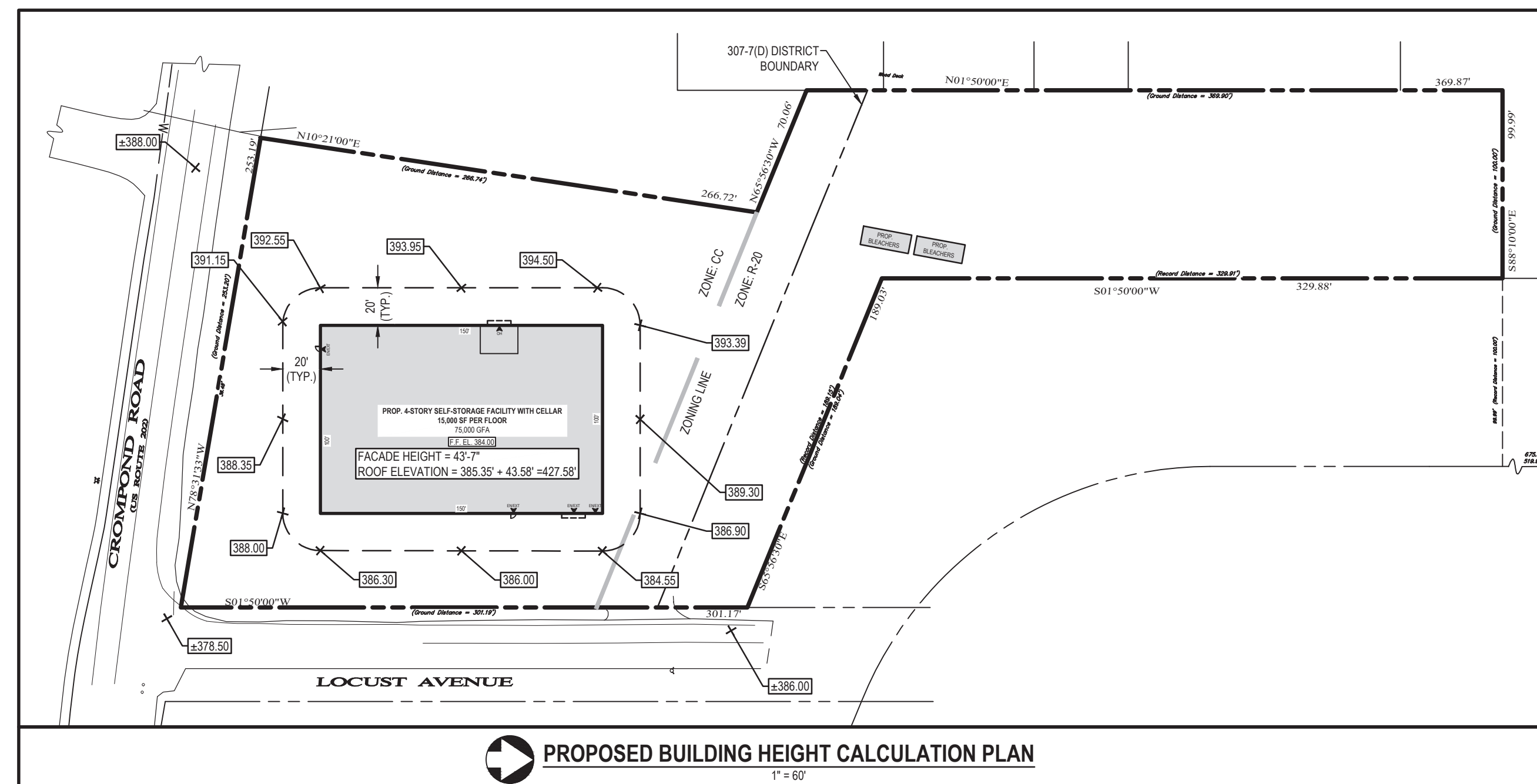


**AVERAGE LOT WIDTH CALCULATIONS**

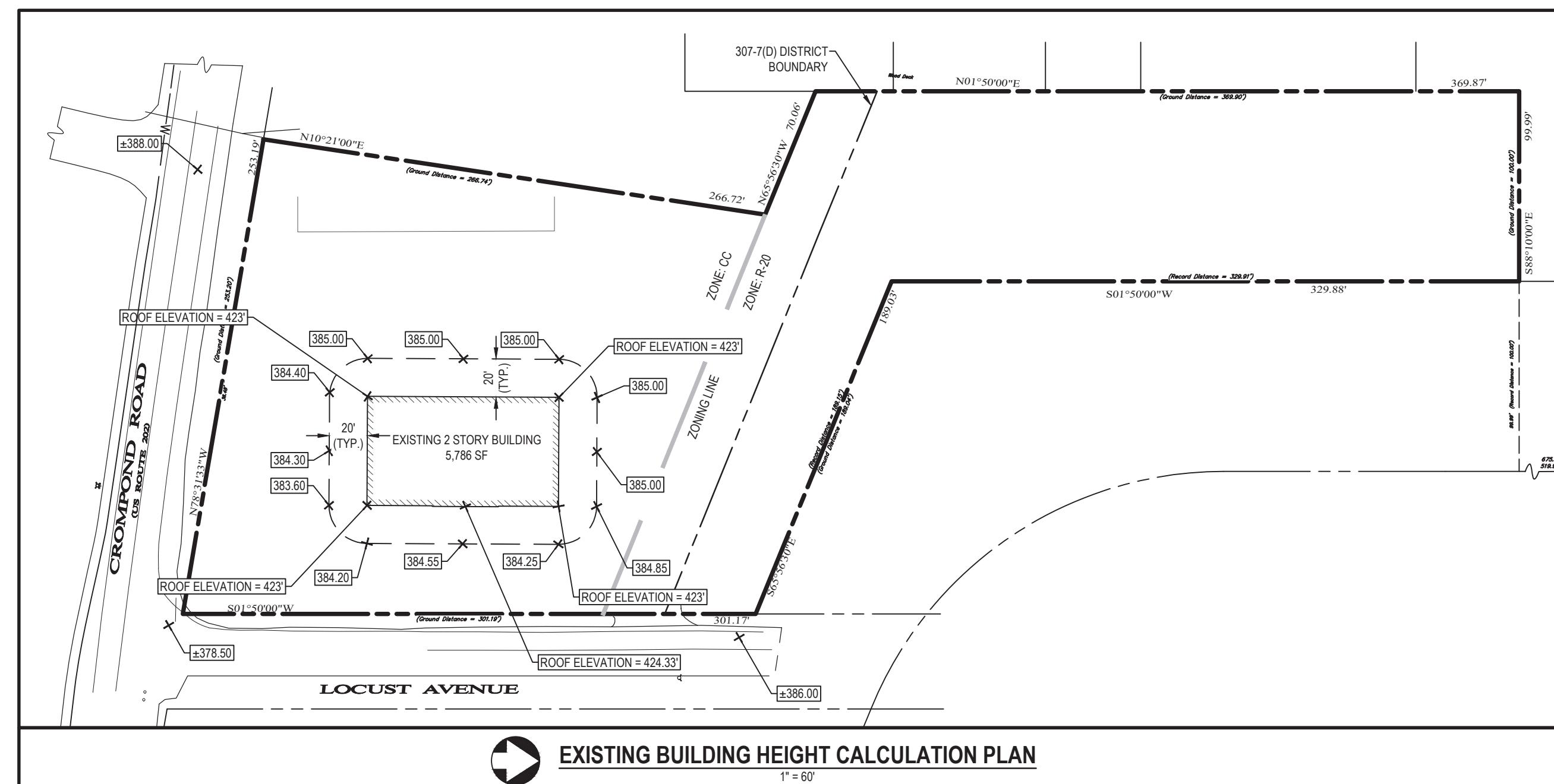
**PROPOSED LOT WIDTH**  
 $233.2' + 248.9' + 244.5' + 239.9' + 235.5' + 230.9'$   
 $+ 226.5' + 222' + 215.8' + 215' + 276.7' = 2,608.6'$   
 AVERAGE =  $2,608.6' / 11 = 237.15'$   
 DISTRICT BOUNDARY AREA = 65,899.39 SF  
 MIN. LOT WIDTH =  $65,899.39 / 237.15' = 277.9'$

**EXISTING LOT WIDTH**  
 $233.2' + 248.9' + 244.5' + 239.9' + 235.5' + 230.9'$   
 $+ 226.5' + 222' + 215.8' + 215' + 276.7' = 2,608.6'$   
 AVERAGE =  $2,608.6' / 11 = 237.15'$   
 OVERALL AREA = 110,078.59 SF  
 MIN. LOT WIDTH =  $110,078.59 / 237.15' = 464.2'$

**LOT WIDTH PLAN**  
1" = 60'



**PROPOSED BUILDING HEIGHT CALCULATION PLAN**  
1" = 60'



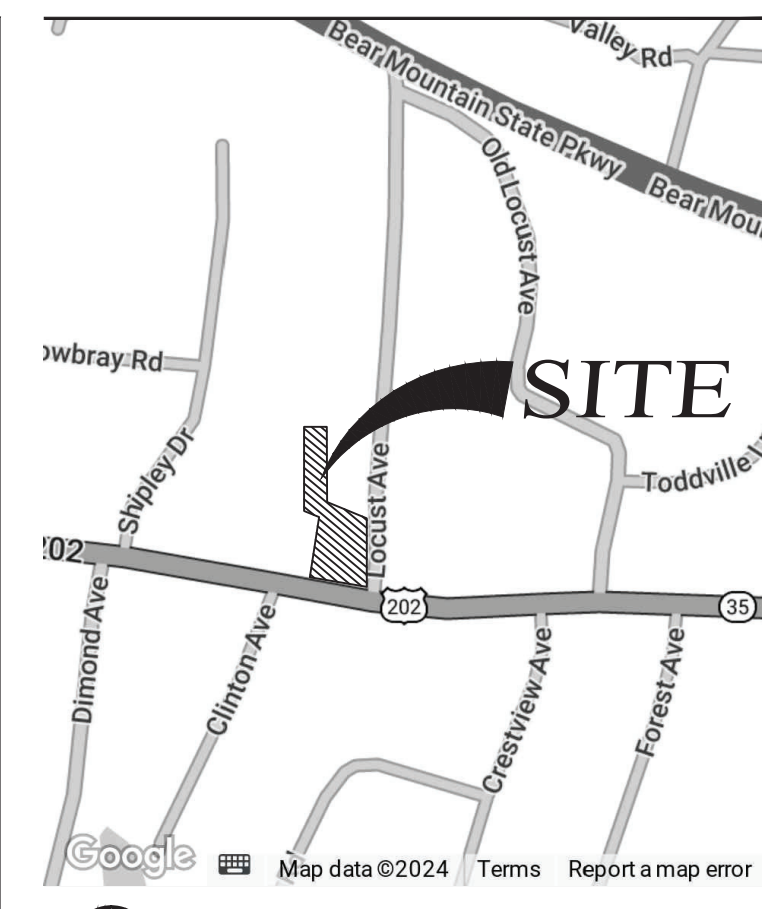
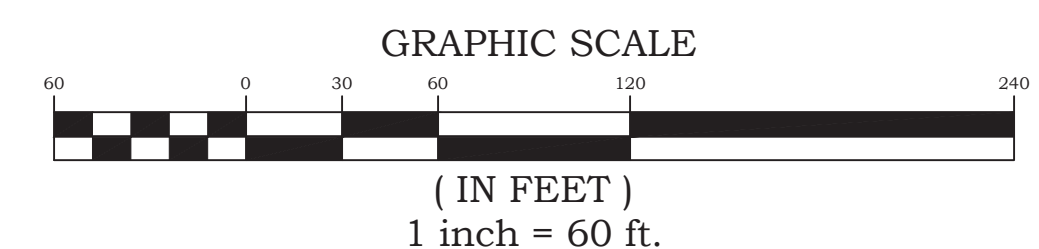
**EXISTING BUILDING HEIGHT CALCULATION PLAN**  
1" = 60'

PROPOSED BUILDING HEIGHT CALCULATIONS				
ITEM	SECTION	PROPOSED AVERAGE GRADE ELEVATION 20' FROM BUILDING	PROPOSED TOP OF ROOF ELEVATION	PROPOSED BUILDING HEIGHT
MAXIMUM BUILDING HEIGHT	307 ATTACHMENT 5	NORTH ELEVATION = 389.86 EAST ELEVATION = 385.62 SOUTH ELEVATION = 388.17 WEST ELEVATION = 393.67	NORTH ELEVATION = 427.58' EAST ELEVATION = 427.58' SOUTH ELEVATION = 427.58' WEST ELEVATION = 427.58'	NORTH = 37.72' EAST = 41.96' SOUTH = 38.41' WEST = 33.91' AVERAGE = 38.00'

EXISTING BUILDING HEIGHT CALCULATIONS				
ITEM	SECTION	EXISTING AVERAGE GRADE ELEVATION 20' FROM BUILDING	EXISTING TOP OF ROOF ELEVATION	EXISTING BUILDING HEIGHT
MAXIMUM BUILDING HEIGHT	307 ATTACHMENT 5	NORTH ELEVATION = 384.95 EAST ELEVATION = 384.33 SOUTH ELEVATION = 384.10 WEST ELEVATION = 385.00	NORTH ELEVATION = 423.0' EAST ELEVATION = 423.0' SOUTH ELEVATION = 423.0' WEST ELEVATION = 423.0'	NORTH = 38.05' EAST = 38.77' SOUTH = 38.91' WEST = 38.0' AVERAGE = 38.52'

**NOTES**

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- THE APPLICANT SHALL SUBMIT AN AS-BUILT FOUNDATION SURVEY TO THE TOWN OF CORTLANDT PRIOR TO FRAMING.
- PRIOR TO THE BACKFILLING OF ANY STORMWATER BEST MANAGEMENT PRACTICE OR WATER SUPPLY, DOTS-ENGINEERING SHALL BE NOTIFIED TO PERFORM AN INSPECTION.
- PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY (C.O.), THE TOWN WILL REQUIRE A CERTIFICATION FROM A NYS ENGINEER THAT THE COMPLETED SITE WORK AND DRAINAGE IMPROVEMENTS WILL NOT CAUSE AN ADVERSE IMPACT TO ADJOINING OR DOWNSTREAM PROPERTIES.
- BACKFLOW PREVENTION DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH UNIVERSITY OF SOUTHERN CALIFORNIA LIST OF APPROVED BACKFLOW PREVENTION DEVICES. NYSDOH GUIDELINES FOR DESIGNING BACKFLOW PREVENTION ASSEMBLY INSTALLATIONS, AND BUILDING CODE.
- PERMITTEE IS TO MAINTAIN WORK ZONE TRAFFIC CONTROL PLAN IN ACCORDANCE WITH SECTION 104 OF HIGHWAY LAW WHILE WORKING WITHIN THE TOWN RIGHT-OF-WAY.
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- OVERNIGHT EXCAVATION WILL NOT BE PERMITTED.
- CONTRACTOR SHALL CALL IN TOWN CODE 53 TO LOCATE THE SERVICE CONNECTION AT THE WATERMAIN. IF CODE 53 DOES NOT LOCATE SERVICE MAIN CONNECTION AT MAIN, CONTRACTOR SHALL PERFORM GPR TO LOCATE SERVICE CONNECTION PRIOR TO DEMOLITION/DISCONNECTION.
- EXISTING WATER SERVICE LATERAL SHALL BE CUT AT THE CORPORATION VALVE, BENT BACK, CRIMPED OR CAPPED AND ENCASED (VALVE AND END OF SERVICE LATERAL) IN KRETE.
- REMOVE MINIMUM NEXT 3'-FT OF WATER SERVICE LATERAL AND ABANDON IN PLACE TO PROPERTY LINE. SHOULD THE SERVICE LATERAL BE DUCTILE IRON, THE LINE SHALL BE REMOVED UP TO THE VALVE.
- THE VALVE SHALL BE CLOSED, FLANGED AND CAPPED (USING MEGA LOG CONNECTIONS) AND ENCASED IN 4,000 PSI CONTRACTOR SHALL PROVIDE A TRAFFIC CONTROL PLAN TO THE HIGHWAY DEPARTMENT FOR APPROVAL PRIOR TO PERFORMING THE WORK.
- CONTRACTOR SHALL LOCATE AND REMOVE ALL COMPONENTS OF THE EXISTING SUBSURFACE SEWAGE DISPOSAL SYSTEM SERVING THE EXISTING BUILDING.
- SEPTIC TANKS, LEACHING FIELDS, AND OTHER SIMILAR FACILITIES ASSOCIATED WITH THE EXISTING BUILDING SHALL BE PUMPED FREE OF SEPTAGE OR SEWAGE, REMOVED AND THE RESULTING HOLE SHALL BE BACKFILLED IN LIFTS OF COMPACTED SUITABLE FILL MATERIAL.
- TANKS SHALL BE PUMPED BY A NYSDEC CERTIFIED SEPTIC WASTE TRANSPORTER AND REMOVED FROM THE SITE IN ACCORDANCE WITH NYSDEC TRANSPORT AND DISPOSAL REQUIREMENTS.
- THE ABANDONMENT AND/OR DECOMMISSIONING OF THE EXISTING SUBSURFACE SEWAGE DISPOSAL SYSTEM MUST BE IN ACCORDANCE WITH THE PROCEDURES APPROVED BY THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH AND CERTIFIED BY A LICENSED NYS PROFESSIONAL ENGINEER.



**VICINITY MAP**  
N.T.S.

**PROJECT DATA**

APPLICANT/TOWNER	3 LOCUST AVENUE LLC 42 AQUeduct ROAD GARRISON, NY 10524
TAX MAP NUMBER	Sec.34.5, Block 2, Lot 6
SITE AREA	OVERALL AREA = 110,078.59 SF (2.527 Acres) DISTRICT BOUNDARY AREA = 65,899.39 SF (1.513 Acres)
CURRENT USE	CON ED TRAINING CENTER
PROPOSED USE	SELF-STORAGE FACILITY
EXISTING FOOTPRINT	5,786 SF
PROPOSED FOOTPRINT	15,000 SF
GROSS FLOOR AREA	CELLAR 15,000 SF ENTRY LEVEL 15,000 SF SECOND LEVEL 15,000 SF THIRD LEVEL 15,000 SF FOURTH LEVEL 15,000 SF TOTAL 75,000 SF

NO.	DATE	BY	DESCRIPTION
8	09/24/24	JK	REV. PER TOWN COMMENTS
7	08/06/24	JR	UPDATED PER SWPPP
6	08/22/24	JR	SHEET UNAFFECTED
5	08/06/24	JR	REV. PER TOWN COMMENTS
4	06/20/24	JR	REV. PER TOWN COMMENTS
3	06/03/24	JR	REV. PER TOWN COMMENTS
2	05/01/24	JR	REV. PER ATTORNEY COMMENTS
1	04/15/24	JR	REVISE BULK TABLE

**REVISIONS**

**KEY CIVIL ENGINEERING**  
 664 BLUE POINT ROAD, UNIT B  
 HOLTSTVILLE, NEW YORK 11742  
 (631) 961-0506  
 www.KeyCivilEngineering.com

**PROJECT NAME**

**PROPOSED SELF-STORAGE FACILITY**  
 3 LOCUST AVENUE  
 CORTLANDT MANOR, NY 10567  
 COUNTY OF WESTCHESTER  
 SECT.: 34.5, BLOCK: 2, LOT: 6

**DRAWING TITLE**

**HEIGHT & LOT WIDTH CALCULATION PLAN**

DATE:	03/22/2024
SCALE:	1" = 60'
PROJECT NUMBER:	24001
DRAWING BY:	JR
CHECKED BY:	JF
APPROVED BY:	MP

SEAL & SIGNATURE:

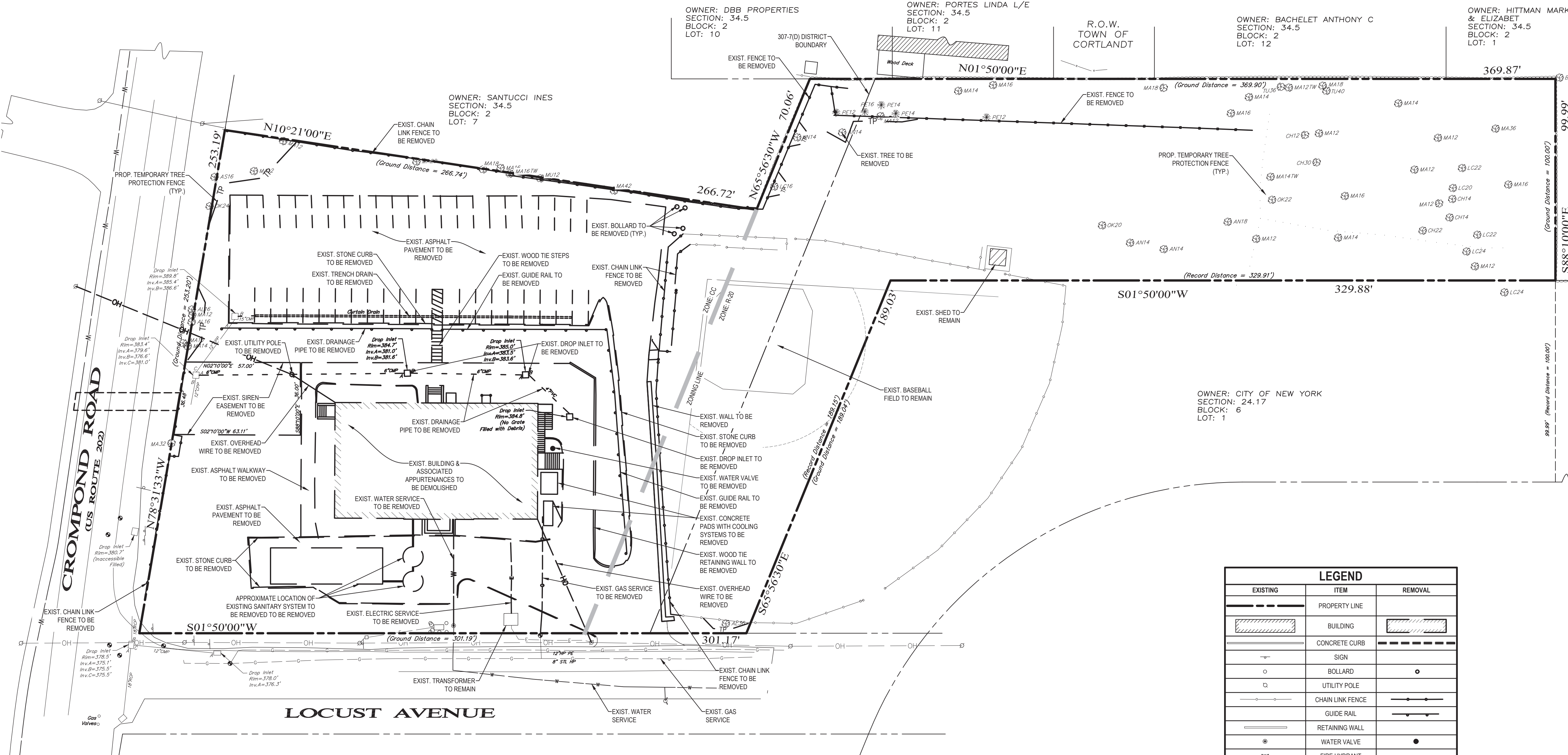
**MARC PIOTTA, P.E.**  
 NEW YORK STATE PROFESSIONAL ENGINEER #081558

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DRAWING No: **C-1A**

PAGE No: **2 OF 11**





LEGEND		
EXISTING	ITEM	REMOVAL
---	PROPERTY LINE	---
	BUILDING	
---	CONCRETE CURB	---
---	SIGN	---
○	BOLLARD	○
□	UTILITY POLE	□
---	CHAIN LINK FENCE	---
---	GUIDE RAIL	---
---	RETAINING WALL	---
●	WATER VALVE	●
▽	FIRE HYDRANT	▽
OH	OVERHEAD WIRE	OH
□	INLET	□
E	ELECTRIC SERVICE	E
G	GAS SERVICE	G
W	WATER SERVICE	W
---	DRAINAGE PIPE	---
⊙	TREE	⊙

### SITE REMOVAL NOTES

- REFER TO SITE PLAN (SHEET C-1) FOR ADDITIONAL NOTES.
- THE CONTRACTOR SHALL ENSURE ANY EXISTING ASBESTOS CONTAINING MATERIALS ARE LEGALLY REMOVED FROM SUBJECT PREMISES PRIOR TO REMOVAL ACTIVITIES AND SHALL PERFORM ALL AGENCY NOTIFICATIONS AS REQUIRED.
- EXCAVATION SHALL BE PROPERLY BACKFILLED WITH CLEAN, SUITABLE MATERIAL. THE CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT OR CONSULT WITH THE GEOTECHNICAL ENGINEER FOR INSPECTION AND CERTIFICATION.
- THE CONTRACTOR SHALL INSTALL A TEMPORARY PROTECTIVE FENCE IN ACCORDANCE WITH FEDERAL, STATE, COUNTY AND LOCAL CODES AND REGULATIONS AT LOCATIONS WHERE HAZARDOUS CONDITIONS EXIST AS A RESULT OF REMOVAL ACTIVITIES.
- THE UTILITY INFORMATION SHOWN ON THE PLAN IS A COMPILATION OF FIELD LOCATIONS, ABOVEGROUND STRUCTURES THAT WERE VISIBLE AND ACCESSIBLE IN THE FIELD, AND RECORD DRAWINGS AVAILABLE AT THE TIME OF THE SURVEY. THE FEASIBILITY OF ALL UTILITIES (DRAINAGE, SEWER, WATER, GAS, ELECTRIC, PHONE, CABLE, ETC.) AND/OR UNDERGROUND STRUCTURES TO BE REMOVED OR RELOCATED HAS NOT BEEN CONFIRMED WITH THE GOVERNING AGENCIES AND MUST BE REVIEWED FURTHER PRIOR TO PREPARATION OF CONSTRUCTION DOCUMENTS.
- PRIOR TO STARTING ANY DEMOLITION, THE CONTRACTOR IS RESPONSIBLE FOR:
  - ENSURE COPIES OF ALL PERMITS AND APPROVALS MUST BE MAINTAINED ON SITE AND AVAILABLE FOR REVIEW.
  - INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.
  - PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.
  - COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES.
  - A COMPLETE INSPECTION OF CONTAMINANTS BY A LICENSED ENVIRONMENTAL TESTING AGENCY, OF ALL BUILDINGS AND/OR STRUCTURES TO BE REMOVED. SAME SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL ENVIRONMENTAL REGULATIONS. ANY/ALL CONTAMINANTS SHALL BE REMOVED AND DISPOSED OF BY A FEDERALLY LICENSED CONTRACTOR IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS. ALL ENVIRONMENTAL WORK INCLUDING HAZARDOUS MATERIAL, SOILS, ASBESTOS, OR OTHER REFERENCED OR IMPLIED HEREIN IS THE SOLE RESPONSIBILITY OF THE ENVIRONMENTAL CONSULTANT.
- IN THE ABSENCE OF SPECIFICATIONS, THE CONTRACTOR SHALL PERFORM EARTH MOVEMENT ACTIVITIES, DEMOLITION AND REMOVAL OF ALL FOUNDATION WALLS, FOOTINGS, AND OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE IN ACCORDANCE WITH DIRECTION BY THE STRUCTURAL OR GEO-TECHNICAL ENGINEER.
- CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES.
- DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE DEFINED PROPERTY LINE WITHOUT WRITTEN PERMISSION OF THE OWNER, AND/OR APPROPRIATE GOVERNMENT AGENCY.
- USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, ADJACENT STRUCTURES AND IMPROVEMENTS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION.
- THE CONTRACTOR IS RESPONSIBLE TO SAFEGUARD SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF UNAUTHORIZED PERSONS AT ANY TIME.
- THIS PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL METHODS AND MEANS ARE TO BE IN ACCORDANCE WITH FEDERAL, STATE, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL OSHA AND/OR OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
- DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION WASTES AND DEBRIS (SOLID WASTE) SHALL BE LEGALLY DISPOSED OF IN ACCORDANCE WITH ALL TOWN, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES.
- IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR SHALL BE REQUIRED TO CALL THE BOARD OF PUBLIC UTILITIES OR CALL DAMAGE PROTECTION SYSTEMS FOR UTILITY MARK OUT IN ADVANCE OF ANY EXCAVATION.
- THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS AND UTILITIES. ALL DISCREPANCIES SHALL BE IDENTIFIED TO THE ENGINEER IN WRITING.
- CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN DEMOLITION PERMIT AND NECESSARY UTILITY DISCONNECTS.



PROJECT DATA	
APPLICANT/OWNER	3 LOCUST AVENUE LLC 42 ADELECT ROAD GARRISON, NY 10524
TAX MAP NUMBER	Sec 34.5, Block 2, Lot 6
SITE AREA	OVERALL AREA = 110,078.59 SF (2.527 Acres) DISTRICT BOUNDARY AREA = 65,899.39 SF (1.513 Acres)
CURRENT USE	CON ED TRAINING CENTER
PROPOSED USE	SELF-STORAGE FACILITY
EXISTING FOOTPRINT	5,786 SF
PROPOSED FOOTPRINT	15,000 SF
GROSS FLOOR AREA	CELLAR 15,000 SF ENTRY LEVEL 15,000 SF SECOND LEVEL 15,000 SF THIRD LEVEL 15,000 SF FOURTH LEVEL 15,000 SF TOTAL 75,000 SF

NO.	DATE	BY	DESCRIPTION
8	09/24/24	JK	REV. PER TOWN COMMENTS
7	08/06/24	JR	UPDATED PER SWPPP
6	08/22/24	JR	SHEET UNAFFECTED
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4	06/20/24	JR	REV. PER TOWN COMMENTS
3	06/03/24	JR	REV. PER TOWN COMMENTS
2	05/01/24	JR	REV. PER ATTORNEY COMMENTS
1	04/15/24	JR	REVISE BULK TABLE

**REVISIONS**

**KEY CIVIL ENGINEERING**  
664 BLUE POINT ROAD, UNIT B  
HOLTSVILLE, NEW YORK 11742  
(631) 961-0506  
www.KeyCivilEngineering.com

PROJECT NAME: **PROPOSED SELF-STORAGE FACILITY**  
3 LOCUST AVENUE  
CORTLANDT MANOR, NY 10567  
COUNTY OF WESTCHESTER  
SECT.: 34.5, BLOCK: 2, LOT: 6

### DRAWING TITLE

**SITE REMOVALS PLAN**

DATE: 03/22/2024  
SCALE: 1" = 30'  
PROJECT NUMBER: 24001  
DRAWING BY: JR  
CHECKED BY: JF  
APPROVED BY: MP

SEAL & SIGNATURE:

MARC PIOTTA, P.E.  
NEW YORK STATE PROFESSIONAL ENGINEER #081558

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DRAWING No: **C-2**

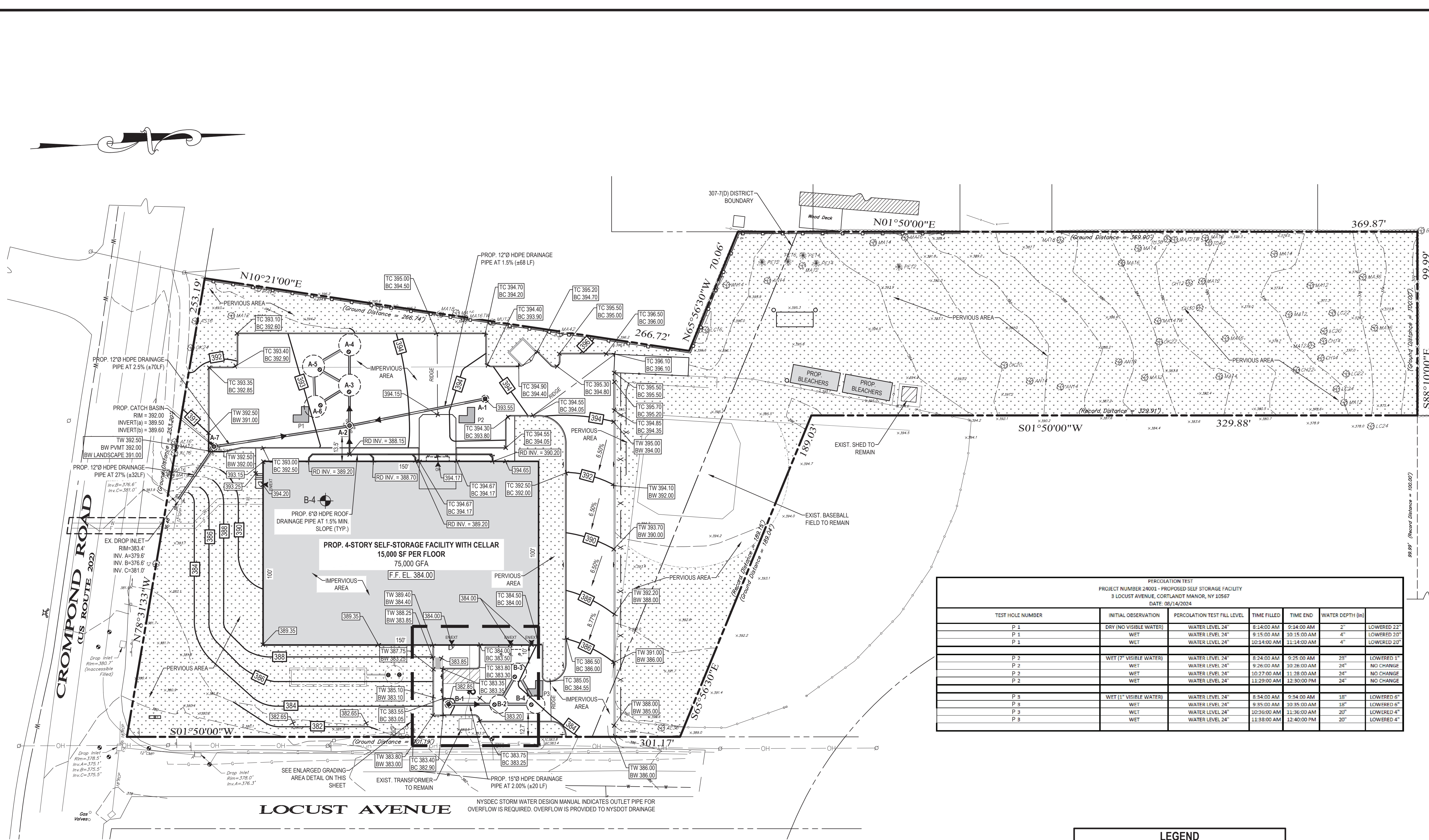
PAGE No: 3 OF 11

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 Confirm Utility Response  
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 Dig With Care

GRAPHIC SCALE  
1 IN FEET  
1 inch = 30 ft.





- ### GRADING & DRAINAGE NOTES
- REFER TO SITE PLAN (SHEET C-1) FOR ADDITIONAL NOTES.
  - STORMWATER RUNOFF COEFFICIENTS PER TOWN OF CORTLANDT:
    - ROOF = 1.00
    - PAVEMENT/PERVIOUS = 1.00
    - LANDSCAPE/PERVIOUS = 0.30
  - PROVIDE STORMWATER RUNOFF STORAGE FOR 5" RAINFALL PER TOWN OF CORTLANDT REQUIREMENTS
  - DRYWELL DESIGN CAPACITY:
    - 8" DIAMETER = 42.24 CFV/F
    - 10" DIAMETER = 68.42 CFV/F
    - 12" DIAMETER = 100.88 CFV/F
  - ALL PROPOSED DRAINAGE INTERCONNECTING PIPING SHALL BE SMOOTH WALL HDPE WITH A MINIMUM DIAMETER OF 12 INCHES.
  - TOP OF EFFECTIVE DEPTH IN LEACHING STRUCTURES SHALL BE NO HIGHER THAN THE GRATE ELEVATION OF THE LOWEST INLET IN THE IMMEDIATE SYSTEM.
  - ALL LANDINGS AND WALKWAYS SHALL HAVE A MINIMUM OF 1.0% CROSS SLOPE AWAY FROM THE BUILDING OR SLOPE TOWARDS AN INLET / LOW SPOT.
  - CONTRACTOR SHALL CLEAN ALL EXISTING/PROPOSED DRAINAGE STRUCTURES AND INTERCONNECTING PIPES AT THE END OF CONSTRUCTION.
  - ALL ACCESSIBLE PARKING, CURB RAMPS, AND OTHER APPURTENANCES OF ACCESSIBLE ROUTES ARE TO MEET THE REQUIREMENTS OF THE 2020 NYS BUILDING CODE CHAPTER 11-ACCESSIBILITY AND ICCANS A117.1 - 2009. ACCESSIBLE STALLS SHALL HAVE NO SLOPE GREATER THAN 2.0% IN ANY DIRECTION AND THE PROPOSED SIDEWALK SHALL NOT EXCEED A 5% RUNNING SLOPE AND 2.0% CROSS SLOPE.
  - LOCATION OF EXISTING UTILITY SERVICES ARE UNKNOWN AND SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR WITH THE UTILITY COMPANIES AND/OR PRIVATE MARK OUT COMPANIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
  - ALL ELEVATIONS DENOTED ON THIS PLAN REFER TO NAVD83 DATUM.
  - IF WET CONDITION IS ENCOUNTERED, CONTRACTOR SHALL USE 3/4" CLEAN WASHED STONE IN LIEU OF SAND BACKFILL.
  - THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO ENSURE THE SAFETY OF ITS EMPLOYEES, THE GENERAL PUBLIC, STRUCTURES TO REMAIN, ADJACENT PROPERTIES, PUBLIC R.O.W.'S, ETC. DURING ALL CONSTRUCTION AND REMOVAL ACTIVITIES IN ACCORDANCE WITH FEDERAL, STATE COUNTY AND LOCAL CODES AND REGULATIONS. THE OWNER AND ENGINEER ASSUME NO RESPONSIBILITIES FOR THE CONTRACTOR'S SAFETY PROGRAMS & PROCEDURES IN CONNECTION WITH THE WORK.

- ### STORMWATER DESIGN NOTES FOR SWPPP
- SYSTEM A DRYWELLS DESIGNED TO HANDLE WQV REQUIREMENTS. 1,035 CUBIC FEET STORAGE REQUIRED 1.2 TO 1.56 CF PROVIDED.
  - CHANNEL PROTECTION VOLUME PROVIDED AS RUNOFF IN 1 YEAR STORM FROM SUBJECT SITE IS 0 CFS.
  - PROPOSED 10 YEAR AND 100 YEAR PEAK RUNOFF FROM SUBJECT SITE IS LESS THAN EXISTING CONDITIONS.

PERCOLATION TEST  
PROJECT NUMBER 24001 - PROPOSED SELF STORAGE FACILITY  
3 LOCUST AVENUE, CORTLANDT MANOR, NY 10567  
DATE: 06/14/2024

TEST HOLE NUMBER	INITIAL OBSERVATION	PERCOLATION TEST FILL LEVEL	TIME FILLED	TIME END	WATER DEPTH (IN)	
P 1	DRY (NO VISIBLE WATER)	WATER LEVEL 24"	8:14:00 AM	9:14:00 AM	2"	LOWERED 22"
	WET	WATER LEVEL 24"	9:15:00 AM	10:15:00 AM	4"	LOWERED 20"
	WET	WATER LEVEL 24"	10:14:00 AM	11:14:00 AM	4"	LOWERED 20"
P 2	WET (VISIBLE WATER)	WATER LEVEL 24"	8:24:00 AM	9:25:00 AM	23"	LOWERED 1"
	WET	WATER LEVEL 24"	9:26:00 AM	10:26:00 AM	24"	NO CHANGE
	WET	WATER LEVEL 24"	10:27:00 AM	11:28:00 AM	24"	NO CHANGE
P 3	WET (VISIBLE WATER)	WATER LEVEL 24"	8:34:00 AM	9:34:00 AM	18"	LOWERED 6"
	WET	WATER LEVEL 24"	9:35:00 AM	10:35:00 AM	18"	LOWERED 6"
	WET	WATER LEVEL 24"	10:36:00 AM	11:36:00 AM	20"	LOWERED 4"
P 3	WET	WATER LEVEL 24"	11:38:00 AM	12:40:00 PM	20"	LOWERED 4"



### PROJECT DATA

APPLICANT/OWNER: 3 LOCUST AVENUE LLC  
42 AQUEDUCT ROAD  
GARRISON, NY 10524

TAX MAP NUMBER: Sect.34.5, Block 2, Lot 6

SITE AREA: OVERALL AREA = 110,078.59 SF (2.527 Acres)  
DISTRICT BOUNDARY AREA = 65,899.39 SF (1.513 Acres)

CURRENT USE: CON TRAINING CENTER

PROPOSED USE: SELF-STORAGE FACILITY

EXISTING FOOTPRINT: 5,786 SF

PROPOSED FOOTPRINT: 15,000 SF

GROSS FLOOR AREA: CELLAR: 15,000 SF  
ENTRY LEVEL: 15,000 SF  
SECOND LEVEL: 15,000 SF  
THIRD LEVEL: 15,000 SF  
FOURTH LEVEL: 15,000 SF  
TOTAL: 75,000 SF

NO.	DATE	BY	DESCRIPTION
8	09/24/24	JK	REV. PER TOWN COMMENTS
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6	08/22/24	JR	SHEET UNAFFECTED
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3	06/03/24	JR	REV. PER TOWN COMMENTS
2	05/01/24	JR	REV. PER ATTORNEY COMMENTS
1	04/15/24	JR	REVISE BULK TABLE

## KEY CIVIL ENGINEERING

664 BLUE POINT ROAD, UNIT B  
HOLTSVILLE, NEW YORK 11742  
(831) 961-0606  
www.KeyCivilEngineering.com

PROJECT NAME: **PROPOSED SELF-STORAGE FACILITY**  
3 LOCUST AVENUE  
CORTLANDT MANOR, NY 10567  
COUNTY OF WESTCHESTER  
SECT.: 34.5, BLOCK: 2, LOT: 6

DRAWING TITLE: **GRADING & DRAINAGE PLAN**

DATE: 03/22/2024  
SCALE: 1" = 30'  
PROJECT NUMBER: 24001  
DRAWING BY: JR  
CHECKED BY: JF  
APPROVED BY: MP

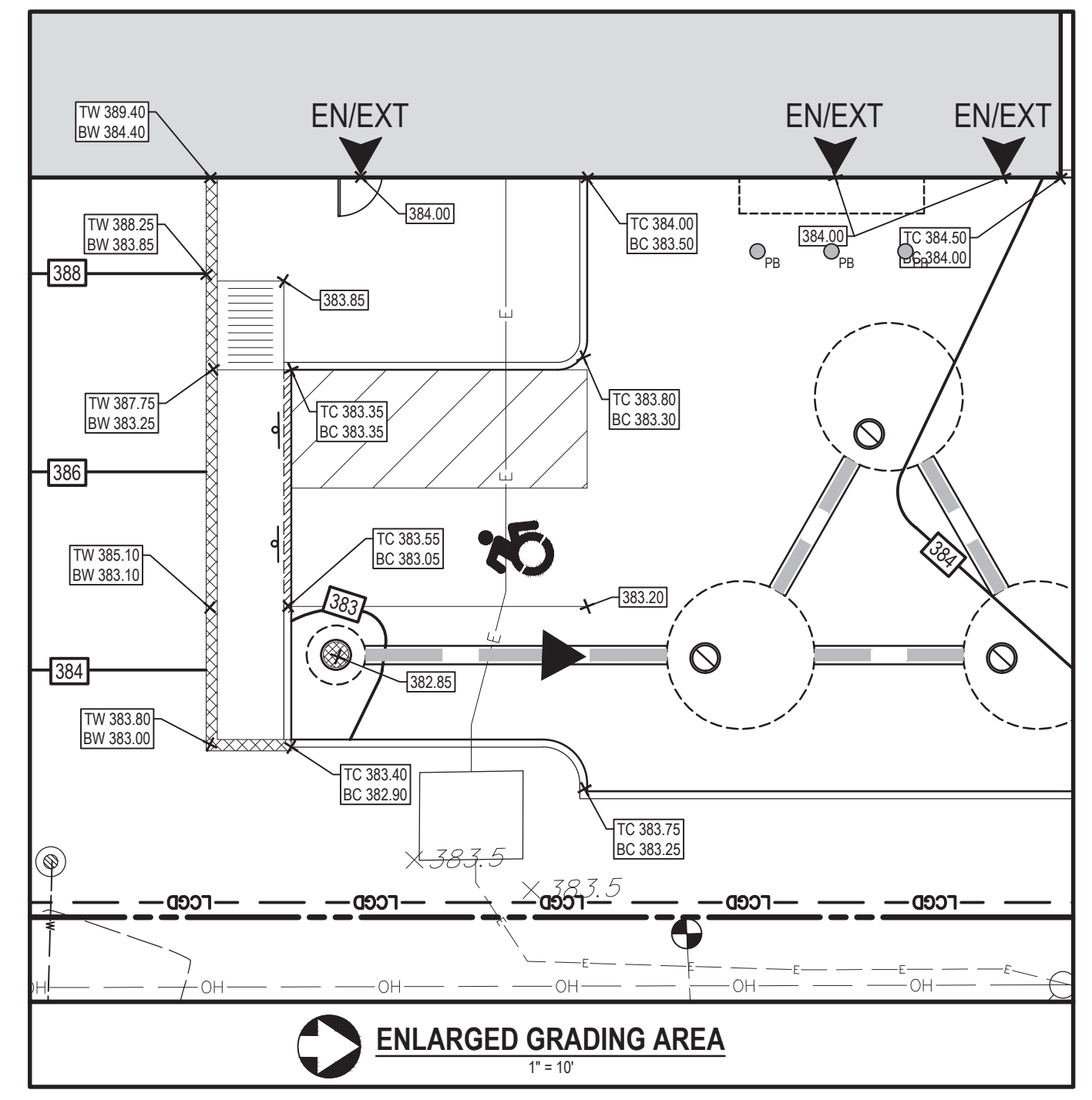
SEAL & SIGNATURE:

DRAWING No.: **C-3**

PAGE No.: 4 OF 11

### DRAINAGE STRUCTURE SCHEDULE

STRUCTURE NUMBER	STRUCTURE TYPE	EFFECTIVE DEPTH	RIM/GRATE	TOP OF RINGS	BOTTOM OF RINGS	INVERT IN	INVERT OUT
A-1	PROPOSED 4" Ø PRECAST CATCH BASIN WITH FRAME AND GRATE	---	---	---	---	---	388.80
A-2	PROPOSED 4" Ø PRECAST CATCH BASIN WITH FRAME AND GRATE	---	---	---	---	---	387.75
A-3	PROPOSED 12" Ø PRECAST DRYWELL WITH SOLID COVER	4"	393.20	390.50	386.50	387.75	(A)/(B)/(C)/(D) = 387.75
A-4	PROPOSED 12" Ø PRECAST DRYWELL WITH SOLID COVER	4"	393.60	390.50	386.50	387.75	387.75
A-5	PROPOSED 12" Ø PRECAST DRYWELL WITH SOLID COVER	4"	393.00	390.50	386.50	387.75	387.75
A-6	PROPOSED 12" Ø PRECAST DRYWELL WITH SOLID COVER	4"	392.90	390.50	386.50	387.75	387.75
A-7	PROPOSED 4" Ø PRECAST CATCH BASIN WITH FRAME AND GRATE	---	---	---	---	---	(A)/(B)/(C)/(D) = 389.50
B-1	PROPOSED 4" Ø PRECAST CATCH BASIN WITH FRAME AND GRATE	---	---	---	---	---	378.10
B-2	PROPOSED 10" Ø PRECAST DRYWELL WITH SOLID COVER	9"	383.40	381.70	372.70	377.70	377.70
B-3	PROPOSED 10" Ø PRECAST DRYWELL WITH SOLID COVER	9"	383.90	381.70	372.70	377.70	377.70
B-4	PROPOSED 10" Ø PRECAST DRYWELL WITH SOLID COVER	9"	383.90	381.70	372.70	377.70	377.70



### LEGEND

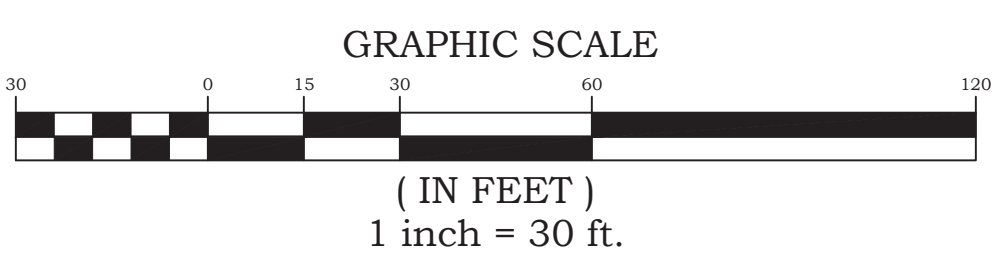
EXISTING	ITEM	PROPOSED
---	PROPERTY LINE	---
	BUILDING	
	DOOR LOCATION	
	CONCRETE CURB	
	SIGN	
	BOLLARD	
	UTILITY POLE	
	CHAIN LINK FENCE	
	WALL	
	WATER VALVE	
	FIRE HYDRANT	
	OVERHEAD WIRE	
	INLET	
	MANHOLE	
	WATER SERVICE	
	ELECTRIC SERVICE	
	GAS SERVICE	
	DRAINAGE PIPE	
	SANITARY PIPE	
	CONTOUR	
	10" DRYWELL	
	TOP & BOTTOM OF CURB ELEVATION	
	TOP & BOTTOM OF WALL ELEVATION	
	GRADE ELEVATION	
	TREE	
	LANDSCAPE/GRASS/ WOODED AREA	
	PERMEABLE PAVING	

### (EL. 101.5') GROUND SURFACE

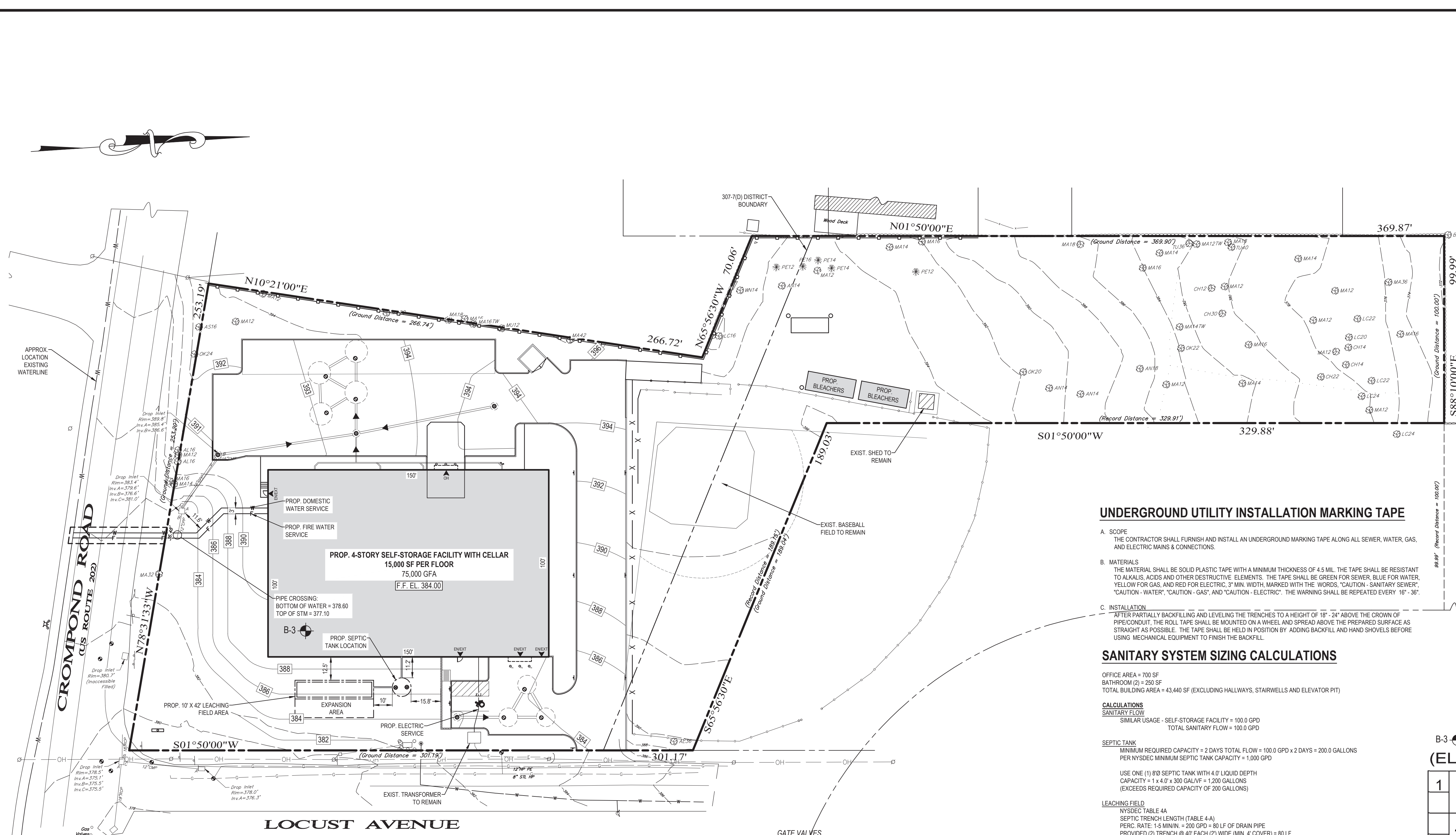
FEET	NO	SB	R	CLASSIFICATION	
1	1	1/4	2	8" BRN. SANDY CLAYEY SILT, TR. GRAVEL, THIN ROOTS (ML)(FILL)	
	2	5	5	18" BRN. SILTY SAND, TR. GRAVEL, CLAY (SM)(FILL?)	
	3	11	16	20" BRN. SILTY CLAYEY SAND, TR. GRAVEL (SC)(4)	
	4	20	25	18" BRN. SILTY SAND, TR. GRAVEL, CLAY (SM)(4)	
	5	20	24	18" BRN. SILTY SAND, TR. GRAVEL, CLAY W/ SANDY CLAYEY SILT, TR. GRAVEL (SM-ML)(4,5)	
	6	10	17	18" BRN. SILTY SAND, TR. GRAVEL, CLAY W/ SANDY CLAYEY SILT, TR. GRAVEL (SM-ML)(4,5)	
	7	72	162	12" DK. GRAY BRN / GRAY BRN. SILTY SAND, TR. GRAVEL, ROCK FRAG. (SM)(4)	
	8	2001	1	ROCK FRAG. (2)	
	AUGER REFUSAL @ 23' - 6"				

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**GENERAL NOTES**

- REFER TO SITE PLAN (SHEET C-1) FOR ADDITIONAL NOTES.
- THERE ARE NO KNOWN EXISTING WELLS PRESENT WITHIN 150' OF THE SUBJECT PROPERTY.
- THERE ARE NO MAPPED DEC WETLANDS/SURFACE WATERS WITHIN 300' OF PROPERTY BOUNDARY
- THE CONTRACTOR MUST NOTIFY THE TOWN ENGINEERING DIVISION AND WESTCHESTER COUNTY OF HEALTH DEPT. 24 HOURS IN ADVANCE OF THE COMMENCEMENT OF ANY ON-SITE DRAINAGE, SANITARY, CURB, OR PAVING WORK.
- UPON OFFICE OF POLLUTION CONTROL APPROVAL, THE REMOVAL OR ABANDONMENT OF EXISTING SEPTIC TANKS, AND LEACHING POOLS SHALL BE PERFORMED IN ACCORDANCE WITH SCDSHS REQUIREMENTS AS FOLLOWS:
  - PUMP OUT ALL SANITARY STRUCTURES
  - REMOVE ALL STRUCTURES IN ITS ENTIRETY AND DISPOSE OF ACCORDINGLY
  - REMOVE ALL SLUDGE FROM THE STRUCTURES UNTIL STRUCTURE IS COMPLETELY EMPTY.
  - FILL HOLES WITH CLEAN FILL COMPACTED TO 95% PROCTOR DENSITY IN MAX ONE FOOT LIFTS TO THE ELEVATION REQUIRED.
- IF WET CONDITION IS ENCOUNTERED, CONTRACTOR SHALL USE 3/4" CLEAN WASHED STONE IN LIEU OF SAND BACKFILL.

LEGEND		
EXISTING	ITEM	PROPOSED
---	PROPERTY LINE	---
▭	BUILDING	▭
---	CONCRETE CURB	---
---	SIGN	---
○	BOLLARD	○
○	UTILITY POLE	○
---	CHAIN LINK FENCE	---
---	WALL	---
●	WATER VALVE	●
▽	FIRE HYDRANT	▽
OH	OVERHEAD WIRE	OH
---	INLET	---
○	MANHOLE	○
W	WATER SERVICE	W
E	ELECTRIC SERVICE	E
G	GAS SERVICE	G
---	DRAINAGE PIPE	---
---	SANITARY PIPE	---
---	CONTOUR	---
○	10'0 DRYWELL	○
○	TREE	○

**UNDERGROUND UTILITY INSTALLATION MARKING TAPE**

- SCOPE**  
THE CONTRACTOR SHALL FURNISH AND INSTALL AN UNDERGROUND MARKING TAPE ALONG ALL SEWER, WATER, GAS, AND ELECTRIC MAINS & CONNECTIONS.
- MATERIALS**  
THE MATERIAL SHALL BE SOLID PLASTIC TAPE WITH A MINIMUM THICKNESS OF 4.5 MIL. THE TAPE SHALL BE RESISTANT TO ALKALIS, ACIDS AND OTHER DESTRUCTIVE ELEMENTS. THE TAPE SHALL BE GREEN FOR SEWER, BLUE FOR WATER, YELLOW FOR GAS, AND RED FOR ELECTRIC. 3" MIN. WIDTH, MARKED WITH THE WORDS, "CAUTION - SANITARY SEWER", "CAUTION - WATER", "CAUTION - GAS", AND "CAUTION - ELECTRIC". THE WARNING SHALL BE REPEATED EVERY 10" - 36".
- INSTALLATION**  
AFTER PARTIALLY BACKFILLING AND LEVELING THE TRENCHES TO A HEIGHT OF 18" - 24" ABOVE THE CROWN OF PIPE/CONDUIT, THE ROLL TAPE SHALL BE MOUNTED ON A WHEEL AND SPREAD ABOVE THE PREPARED SURFACE AS STRAIGHT AS POSSIBLE. THE TAPE SHALL BE HELD IN POSITION BY ADDING BACKFILL AND HAND SHOVELS BEFORE USING MECHANICAL EQUIPMENT TO FINISH THE BACKFILL.

**SANITARY SYSTEM SIZING CALCULATIONS**

OFFICE AREA = 700 SF  
 BATHROOM (2) = 250 SF  
 TOTAL BUILDING AREA = 43,440 SF (EXCLUDING HALLWAYS, STAIRWELLS AND ELEVATOR PIT)

**CALCULATIONS**  
**SANITARY FLOW**  
 SIMILAR USAGE - SELF-STORAGE FACILITY = 100.0 GPD  
 TOTAL SANITARY FLOW = 100.0 GPD

**SEPTIC TANK**  
 MINIMUM REQUIRED CAPACITY = 2 DAYS TOTAL FLOW = 100.0 GPD x 2 DAYS = 200.0 GALLONS  
 PER NYSDEC MINIMUM SEPTIC TANK CAPACITY = 1,000 GPD

USE ONE (1) 8'0" SEPTIC TANK WITH 4'0" LIQUID DEPTH CAPACITY = 14.0 x 300 GALLON = 1,200 GALLONS (EXCEEDS REQUIRED CAPACITY OF 200 GALLONS)

**LEACHING FIELD**  
 NYSDEC TABLE 4A  
 PERC. RATE: 1.5 MININ. = 200 GPD = 80 LF OF DRAIN PIPE PROVIDED (2) TRENCH @ 40' EACH (2) WIDE, MIN. 4' COVER) = 80 LF

**WATER MAIN STANDARDS:**

- ALL WATER MAINS SHALL BE CEMENT LINED CL-54 DUCTILE IRON PIPE AND ALL SERVICE TAPS SHALL BE K-COPPER. A SEPARATE METER WILL BE REQUIRED FOR POTABLE AND FIRE SERVICES. THEY ARE NOT TO BE COMBINED.
- A WOOD-APPROVED BACKFLOW PREVENTION DEVICE FOR CROSS-CONNECTION CONTROL SHALL BE REQUIRED FOR ALL COMMERCIAL BUILDINGS FOR BOTH POTABLE AND FIRE SERVICES AND ANY IRRIGATION SERVICE. MULTI-FAMILY RESIDENTIAL BUILDINGS SHALL ALSO BE EQUIPPED WITH A BACKFLOW PREVENTION DEVICE IF A BULK METER IS PROPOSED OR A FIRE SUPPRESSION SYSTEM IS REQUIRED. INDIVIDUAL SERVICES SHALL BE EQUIPPED WITH A DOUBLE-CHECK VALVE IN ACCORDANCE WITH THE NYS PLUMBING CODE.
- DUCTILE IRON PIPE**  
 ALL PIPE SUPPLIED IS UNITED PIPE AND FOUNDRY "TYTON JOINT" WITH PUSH-ON RUBBER GASKETS WITH TWO (2) BRONZE WEDGES PER JOINT. DOUBLE CEMENT LINED CLASS 54 DUCTILE IRON PIPE, WITH A PRESSURE RATING OF 350 PSI.
- ALL FITTINGS SHALL BE FULL-BODY, MECHANICAL JOINT WITH RETAINER GLANDS, DOUBLE CEMENT LINED, DUCTILE IRON PIPE AS MANUFACTURED BY UNITED STATES PIPE AND FOUNDRY COMPANY, MADE IN THE U.S.A. OR APPROVED EQUIV.
- THE PIPE AND FITTINGS SHALL BE CEMENT MORTAR LINED TO TWICE THE STANDARD THICKNESS IN ACCORDANCE WITH ANSI A21.4 (AWW A C104) EXCEPT AS NOTED.
- ALL CHANGES IN PIPE DIRECTIONS, INCLUDING FITTINGS BOTH VERTICAL AND HORIZONTAL, SHALL BE SECURED WITH RETAINER GLANDS AND THRUST BLOCKS WITH CONCRETE AGAINST UNDISTURBED EARTH.
- IF ADDITIONAL MATERIALS ARE REQUIRED, FITTINGS AND MAINS SHALL BE QUOTED FROM THE SAME SUPPLIER. ALL PIPES, FITTINGS (FULL BODY), GASKETS, JOINT DESIGN, ETC. SHALL CONFORM TO THE FOLLOWING OR LATEST SPECIFICATIONS:  
 DUCTILE IRON PIPE: ANSIAWW A C150/A21.50  
 ANSIAWW A C151/A21.51  
 ANSIAWW A C104/A21.4  
 ANSIAWWA C500  
 DUCTILE IRON FITTINGS: ANSIAWWA C110/A21.10  
 ANSIAWWA C104/A21.10  
 PIPE, FITTING AND MECHANICAL JOINTS: ANSIAWW A C111/A21.11
- THE MECHANICAL JOINT RESTRAINT SYSTEM INCORPORATES A RESTRAINING MECHANISM IN THE FOLLOWER GLAND, WHICH SHALL IMPART A MULTIPLE WELDING ACTION AGAINST THE PIPE. GLANDS ARE MANUFACTURED OF DUCTILE IRON CONFORMING TO ASTM A536-80.
- DUCTILE IRON PIPE FITTINGS**  
 ALL BENDS, TEES AND SOLID SLEEVES SHALL BE AMERICAN MADE FULL WEIGHT FITTINGS MANUFACTURED IN ACCORDANCE WITH THE LATEST AWWA STANDARDS. COMPACT OR FOREIGN MADE FITTINGS SHALL NOT BE ACCEPTABLE.  
 ALL FITTINGS SHALL CONFORM TO THE FOLLOWING OR LATEST SPECIFICATIONS:  
 DUCTILE IRON FITTINGS: ANSIAWWA C110/A21.10  
 ANSIAWWA C104/A21.10  
 FITTING JOINTS: ANSIAWWA C111/A21.11

**GATE VALVES**

- GATE VALVES SHALL BE MUELLER IRON BODY, NON-RISING STEM CONVENTIONAL PACKING, RESILIENT SEATED, MECHANICAL JOINT WITH RETAINER GLANDS, PRESSURE CLASS 350, OPENING LEFT (CCW) AND OPERATION SHALL BE BY 2" SQUARE WRENCH NUT
- ALL GATE VALVES SHALL CONFORM TO THE LATEST SPECIFICATIONS OF ANSIAWWA C509.

**GATE VALVE BOXES**

- ALL VALVE BOXES SHALL CONFORM TO THE LATEST SPECIFICATIONS OF ASTM A-48. VALVE BOXES SHALL BE MANUFACTURED BY TYLER UNION, MODEL 8885 SLIP TYPE, CAST IRON - 2 PIECES WITH AN EXTENSION HEIGHT BETWEEN 39"-60". LIDS SHALL BE MARKED "WATER".
- ALL SERIES PARTS SHALL BE INCLUDED AS PART OF THIS PRICING.
- VALVE BOXES SHALL BE MADE IN THE U.S.A.

**RETAINER GLANDS**

- RETAINER GLANDS ARE "MEGALUG" SERIES 1100 MECHANICAL JOINT RESTRAINT FOR DUCTILE IRON PIPE AS MANUFACTURED BY EBA IRON, INC. THEY SHALL BE CONSTRUCTED OF ASTM A356 DUCTILE IRON AND APPROVED FOR USE ON POTABLE WATER PIPE LINES SUBJECT TO HYDROSTATIC PRESSURE AND TESTED IN ACCORDANCE WITH EITHER AWWA C500 OR ASTM D2774.

**THRUST BLOCKS**

- SHALL HAVE A COMPRESSIVE STRENGTH OF FE = 3,500 PSI (MINIMUM) AT 28 DAYS.
- SHALL BE FORMED AND POURED AGAINST UNDISTURBED EARTH.
- SHALL BE SIZED IN ACCORDANCE WITH DIMENSIONS SHOWN ON THE CONTRACT DRAWINGS.

**FOSTER ADAPTORS**

- FOSTER ADAPTORS SHALL BE 6", 8", AND 10" DIAMETER, 350 PSI RATING AS MANUFACTURED BY UNFACT CORP. IT SHALL MEET THE DUCTILE IRON AND WORKING PRESSURE SPECIFICATIONS OF AWWA COMPACT FITTINGS, ANSIAWWA C150/A21.50 AND C110/A21.10 - AMERICAN NATIONAL STANDARDS FOR DUCTILE IRON COMPACT FITTINGS FOR WATER SERVICE. A FULL FLUORINE EPOXY COATING CONFORMING TO NSF 61 AWWA C116/21-16-09 AND SURFACE PREPARATION AND APPLICATION REQUIREMENTS FOR ANSIAWWA C550. STANDARD ADAPTORS WITH STANDARD ACCESSORIES SHALL BE QUOTED AS PART OF THIS BID ITEM.

**WASHED GRAVEL OR CRUSHED STONE**

- MEETING MATERIAL REQUIREMENTS OF TECHNICAL SPECIFICATION ITEM - WASHED GRAVEL OR CRUSHED STONE.

**NYSDOT ITEM 304.14 SUB-BASE COURSE, TYPE 4**

- MEETING MATERIAL REQUIREMENTS OF TECHNICAL SPECIFICATION ITEM - NYSDOT ITEM 304.14 SUB-BASE COURSE, TYPE 4.

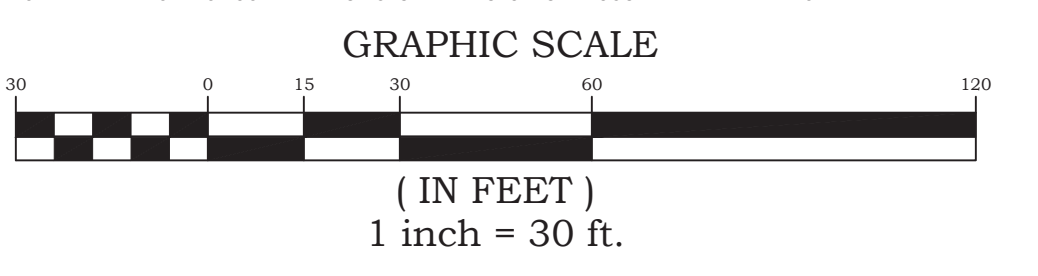
**HYDRANTS**

- FIRE HYDRANTS SHALL BE "MUELLER" SUPER CENTURION 350 MODEL #423HP, WITH SAFETY BREAKAWAY FLANGE, 3-WAY, OPENING LEFT (CCW), THE PUMPER NOZZLE / MAIN VALVE SHALL BE 5 1/4"; THE TWO HOSE NOZZLES SHALL BE 2 1/2"; THIS IS THE TOWN STANDARD.
- STEMBODY SHALL BE PAINTED YELLOW, AND CAPS SHALL BE PAINTED RED.
- TYPICAL BURY DEPTH IS APPROXIMATELY 5'. WHEN FINALIZING ORDER, THE TOWN OF CORTLANDT SHALL SUBMIT HYDRANT ARM LENGTHS PRIOR TO FABRICATION.
- HYDRANT MUST BE EQUIPPED WITH MECHANICAL JOINT NON-ROTATING BOLT DESIGN; CAST IN PAD SHOULDER FOR CONNECTION BACK TO PROPOSED WATER MAIN.
- MINIMUM EASEMENT WIDTH SHALL BE 20-FT.

**NOTES**

- THE APPLICANT IS AWARE THAT THE DISTURBED AREAS SHALL BE 100% STABILIZED AND PLANTED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- THE APPLICANT SHALL SUBMIT AN AS-BUILT FOUNDATION SURVEY TO THE TOWN OF CORTLANDT PRIOR TO FRAMING.
- PRIOR TO THE BACKFILLING OF ANY STORMWATER BEST MANAGEMENT PRACTICE OR WATER SUPPLY, DOTS-ENGINEERING SHALL BE NOTIFIED TO PERFORM AN INSPECTION.
- PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY (C.O.), THE TOWN WILL REQUIRE A CERTIFICATION FROM A NYS ENGINEER THAT THE COMPLETED SITE WORK AND DRAINAGE IMPROVEMENTS WILL NOT CAUSE AN ADVERSE IMPACT TO ADJOINING OR DOWNSTREAM PROPERTIES.
- BACKFLOW PREVENTION DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH UNIVERSITY OF SOUTHERN CALIFORNIA LIST OF APPROVED BACKFLOW PREVENTION DEVICES, NYSDOH GUIDELINES FOR DESIGNING BACKFLOW PREVENTION ASSEMBLY INSTALLATIONS, AND BUILDING CODE.
- PERMITTEE IS TO MAINTAIN WORK ZONE TRAFFIC CONTROL PLAN IN ACCORDANCE WITH SECTION 104 OF HIGHWAY LAW WHILE WORKING WITHIN THE TOWN RIGHT-OF-WAY.
- ROAD CLOSURES ARE NOT PERMITTED.
- OVERNIGHT EXCAVATION WILL NOT BE PERMITTED.
- CONTRACTOR SHALL CALL IN TOWN CODE 53 TO LOCATE THE SERVICE CONNECTION AT THE WATERMAIN. IF CODE 53 DOES NOT LOCATE SERVICE MAIN CONNECTION AT MAIN, CONTRACTOR SHALL PERFORM GPR TO LOCATE SERVICE CONNECTION PRIOR TO DEMOLITION/DISCONNECTION.
- EXISTING WATER SERVICE LATERAL SHALL BE CUT AT THE CORPORATION VALVE, BENT BACK, CRIMPED OR CAPPED AND ENCASED VALVE AND END OF SERVICE LATERAL IN MORTAR.
- REMOVE MINIMUM NEXT 3 FT OF WATER SERVICE LATERAL AND ABANDON IN PLACE TO PROPERTY LINE. SHOULD THE SERVICE LATERAL BE DUCTILE IRON, THE LINE SHALL BE REMOVED UP TO THE VALVE. THE VALVE SHALL BE CLOSED, FLANGED AND CAPPED (USING MEGA LUG CONNECTIONS) AND ENCASED IN 4,000 PSI. CONTRACTOR SHALL PROVIDE A TRAFFIC CONTROL PLAN TO THE HIGHWAY DEPARTMENT FOR APPROVAL PRIOR TO PERFORMING THE WORK.
- CONTRACTOR SHALL LOCATE AND REMOVE ALL COMPONENTS OF THE EXISTING SUBSURFACE SEWAGE DISPOSAL SYSTEM SERVING THE EXISTING BUILDING.
- SEPTIC TANKS, LEACHING FIELDS, AND OTHER SIMILAR FACILITIES ASSOCIATED WITH THE EXISTING BUILDING SHALL BE PUMPED FREE OF SEPTAGE OR SEWAGE, REMOVED AND THE RESULTING HOLE SHALL BE BACKFILLED IN LIFTS OF COMPACTED SUITABLE FILL MATERIAL.
- TANKS SHALL BE 14" NYSDEC CERTIFIED SEPTIC WASTE TRANSPORTER AND REMOVED FROM THE SITE IN ACCORDANCE WITH NYSDEC TRANSPORTATION AND DISPOSAL REQUIREMENTS.
- THE ABANDONMENT AND/OR DECOMMISSIONING OF THE EXISTING SUBSURFACE SEWAGE DISPOSAL SYSTEM MUST BE IN ACCORDANCE WITH THE PROCEDURES APPROVED BY THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH AND CERTIFIED BY A LICENSED NYS PROFESSIONAL ENGINEER.
- POTABLE WATER SERVICE CONNECTION MUST BE TYPE K-COPPER OR CL 54 DIP.
- APPLICANT MUST PROVIDE A SEPARATE FIRE SERVICE USING CL CLASS 54 DIP, A SERVICE SADDLE WITH A PRESSURE RATING OF 200 PSI AND TESTED AT 150% OF WATER LINE PRESSURE, SHALL BE REQUIRED.
- PRIOR TO THE INSTALLATION OF ANY POTABLE WATER OR FIRE SERVICE WITHIN THE RIGHT-OF-WAY OF THE NYSDOT, APPLICANT SHALL RECEIVE APPROVAL FROM THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH (WCDOH) PRIOR TO THE INSTALLATION OF ANY POTABLE WATER OR FIRE SERVICE.
- APPLICANT SHALL RECEIVE APPROVAL AND PERMIT FROM THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION (NYS DOT) PRIOR TO THE INSTALLATION OF ANY POTABLE WATER OR FIRE SERVICE WITHIN THE RIGHT-OF-WAY OF THE NYS DOT.
- BACKFLOW PREVENTORS SHALL BE PROVIDED ON THE POTABLE WATER AND FIRE SUPPLY. BACKFLOW PREVENTORS SHALL BE DESIGNED IN ACCORDANCE WITH THE UNIVERSITY OF SOUTHERN CALIFORNIA LIST OF APPROVED BACKFLOW PREVENTION DEVICES, NYSDOH GUIDELINES FOR DESIGNING BACKFLOW PREVENTION ASSEMBLY INSTALLATIONS, AND BUILDING CODE AND APPROVED BY THE TOWN OF CORTLANDT'S DOTS AND WESTCHESTER COUNTY DEPARTMENT OF HEALTH.

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**VICINITY MAP N.T.S.**

**PROJECT DATA**

APPLICANT/TOWNER	3 LOCUST AVENUE LLC 42 AQUEDUCT ROAD GARRISON, NY 10524
TAX MAP NUMBER	Sec.34.5, Block 2, Lot 6
SITE AREA	OVERALL AREA = 110,078.59 SF (2.527 Acres) DISTRICT BOUNDARY AREA = 65,899.39 SF (1.513 Acres)
CURRENT USE	CON ED TRAINING CENTER
PROPOSED USE	SELF-STORAGE FACILITY
EXISTING FOOTPRINT	5,786 SF
PROPOSED FOOTPRINT	15,000 SF
GROSS FLOOR AREA	CELLAR 15,000 SF ENTRY LEVEL 15,000 SF SECOND LEVEL 15,000 SF THIRD LEVEL 15,000 SF FOURTH LEVEL 15,000 SF TOTAL 75,000 SF

NO.	DATE	BY	DESCRIPTION
8	09/24/24	JK	REV. PER TOWN COMMENTS
7	08/06/24	JR	UPDATED PER SWPPP
6	08/22/24	JR	SHEET UNAFFECTED
5	08/06/24	JR	REV. PER TOWN COMMENTS
4	06/20/24	JR	REV. PER TOWN COMMENTS
3	06/03/24	JR	REV. PER TOWN COMMENTS
2	05/01/24	JR	REV. PER ATTORNEY COMMENTS
1	04/15/24	JR	REVISE BULK TABLE

**REVISIONS**

**KEY CIVIL ENGINEERING**  
 664 BLUE POINT ROAD, UNIT B  
 HOLTSVILLE, NEW YORK 11742  
 (631) 961-0806  
 www.KeyCivilEngineering.com

**PROPOSED SELF-STORAGE FACILITY**  
 3 LOCUST AVENUE  
 CORTLANDT MANOR, NY 10567  
 COUNTY OF WESTCHESTER  
 SECT.: 34.5, BLOCK: 2, LOT: 6

**DRAWING TITLE**

**UTILITY PLAN**

DATE:	03/22/2024
SCALE:	1" = 30'
PROJECT NUMBER:	24001
DRAWING BY:	JR
CHECKED BY:	JF
APPROVED BY:	MP

SEAL & SIGNATURE:  
  
**MARC PIOTTA, P.E.**  
 NEW YORK STATE PROFESSIONAL ENGINEER #081568

DRAWING NO.: **C-4**

PAGE No: 5 OF 11

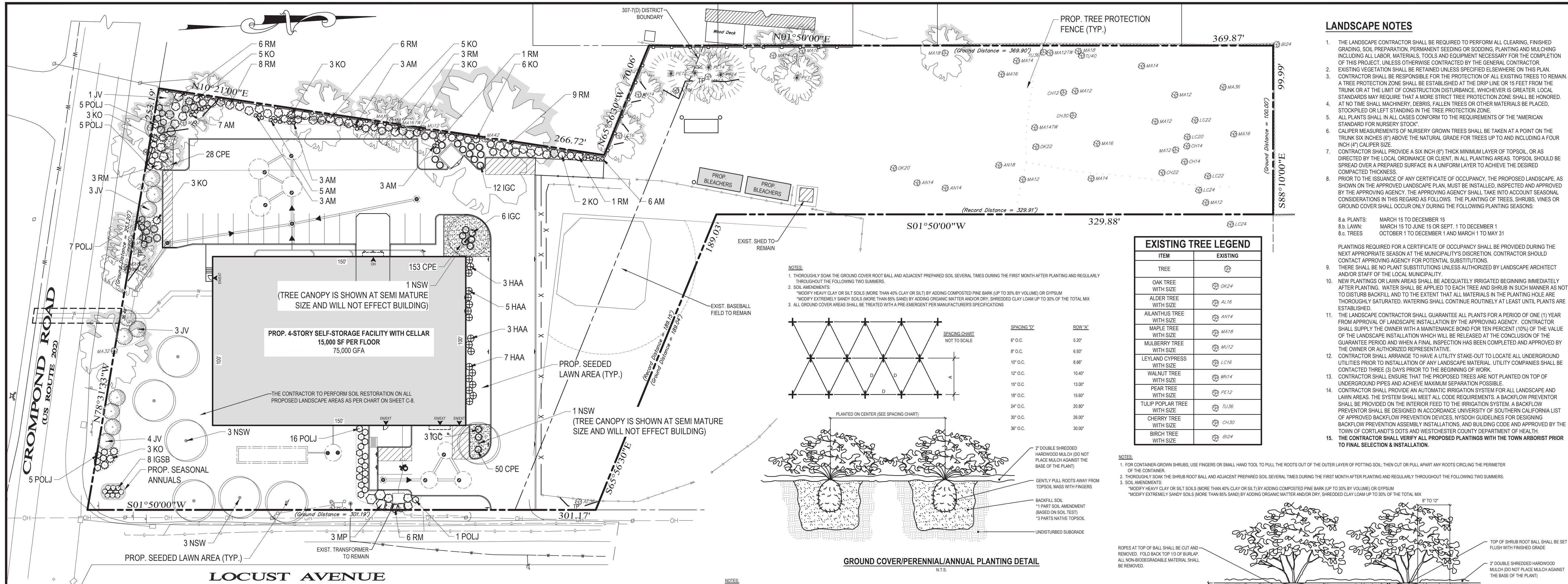
**(EL. 100.9') GROUND SURFACE**

1	3	4	18"	DK. BRN. ORG. LOAM (OL)
2	1	4	16"	BRN. SILTY SAND, TR. GRAVEL, ROCK FRAG., THIN FINE ROOTS (SM)(FILL)
5	11	12	18"	BRN./LT. GRAY BRN. SANDY SILT, TR. GRAVEL, THIN ROOTS (ML)(FILL)
4	12	21	14"	BRN. SAND, TR. GRAVEL, ROCK FRAG., SILT (SP)(FILL)
10	2	2	16"	BRN. TR. DK. BRN. SAND, TR. GRAVEL, ROCK FRAG., TR. TO LITTLE SILT (SP-SM)(FILL)
5	2	5	16"	BRN. SILTY CLAYEY SAND, TR. GRAVEL (SC)(FILL?)
15	24	58	18"	GRAY BRN. SILTY SAND, TR. GRAVEL, ROCK FRAG., CLAY (SM)(4)
6	108	110	18"	
20	66	93	12"	GRAY/ GRAY BRN. SILTY SAND, TR. GRAVEL, ROCK FRAG. (SM)(4)
7	100	102	12"	

**AUGER REFUSAL @ 21' - 8"**

NO SB R CLASSIFICATION



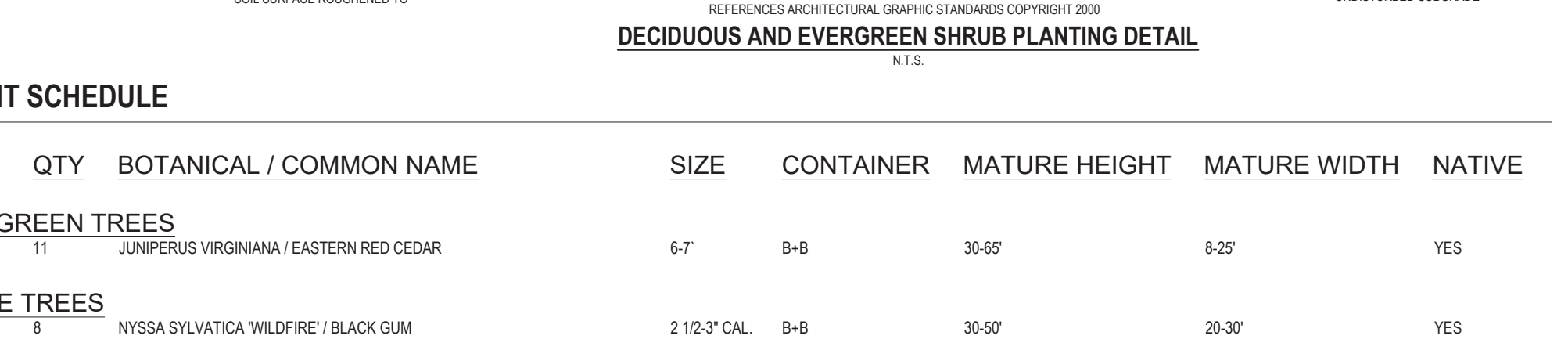
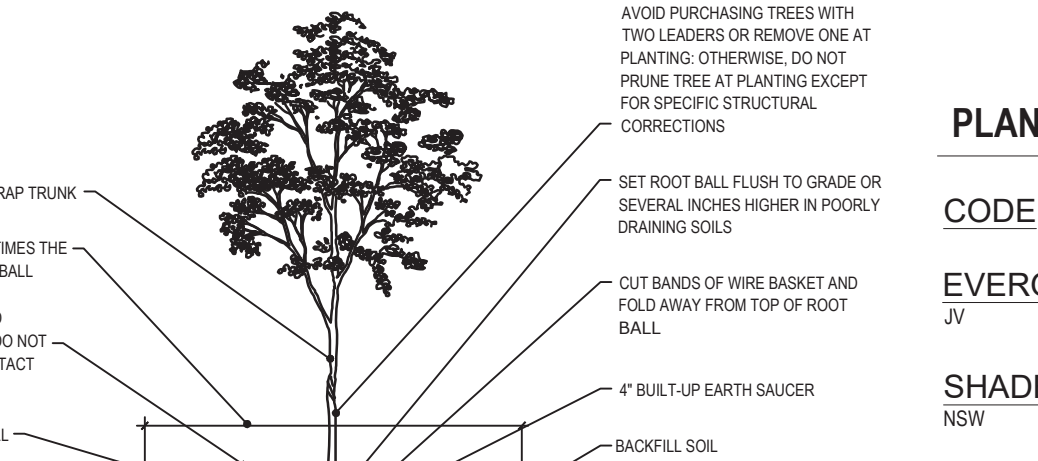
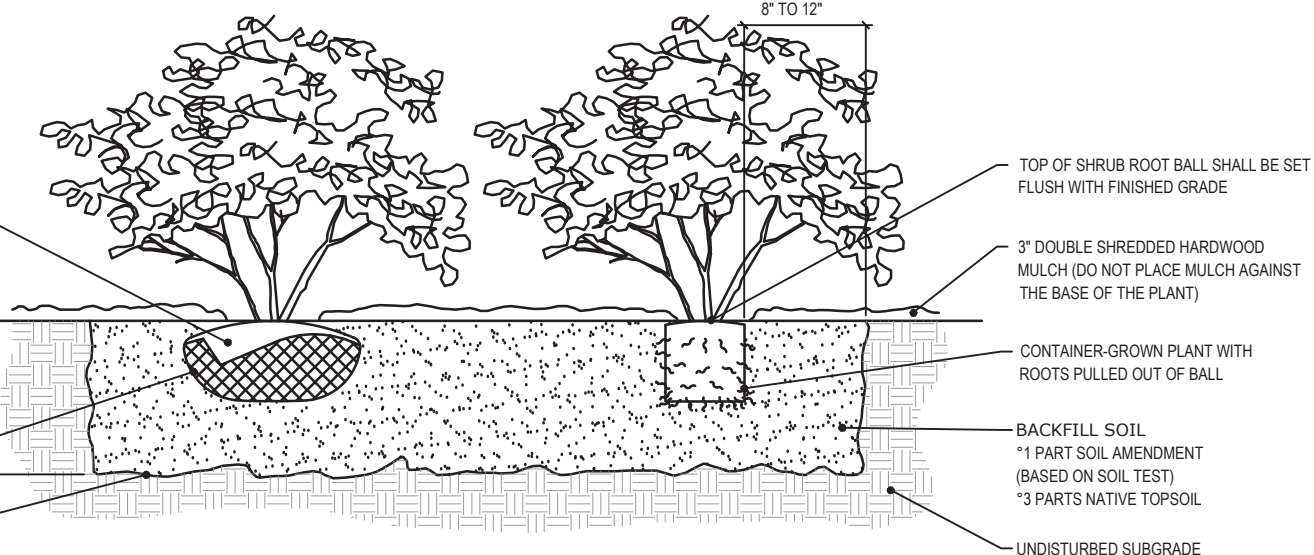
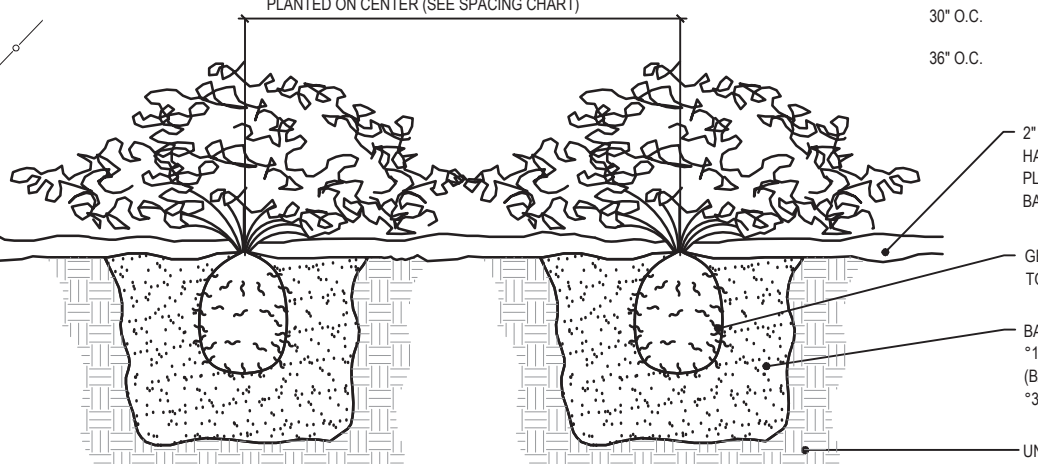
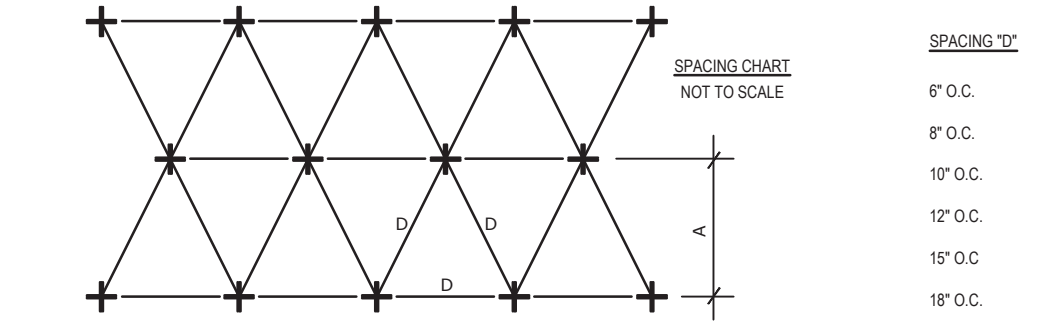


**LANDSCAPE NOTES**

- THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SODDING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.
- EXISTING VEGETATION SHALL BE RETAINED UNLESS SPECIFIED OTHERWISE ON THIS PLAN. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR 15 FEET FROM THE TRUNK OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER. LOCAL STANDARDS MAY REQUIRE THAT A MORE STRICT TREE PROTECTION ZONE SHALL BE HONORED.
- AT NO TIME SHALL MACHINERY, DEBRIS, FALLEN TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN THE TREE PROTECTION ZONE.
- ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK".
- CALIPER MEASUREMENTS OF NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES (6") ABOVE THE NATURAL GRADE FOR TREES UP TO AND INCLUDING A FOUR INCH (4") CALIPER SIZE.
- CONTRACTOR SHALL PROVIDE A SIX INCH (6") THICK MINIMUM LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS.
- PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE, AS SHOWN ON THE APPROVED LANDSCAPE PLAN, MUST BE INSTALLED, INSPECTED AND APPROVED BY THE APPROVING AGENCY. THE APPROVING AGENCY SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS: THE PLANTING OF TREES, SHRUBS, VINES OR GROUND COVER SHALL OCCUR ONLY DURING THE FOLLOWING PLANTING SEASONS:
  - 8. PLANTS: MARCH 15 TO DECEMBER 15
  - 8. LAWN: MARCH 15 TO JUNE 15 OR SEPT. 1 TO DECEMBER 1
  - 8. TREES: OCTOBER 1 TO DECEMBER 1 AND MARCH 1 TO MAY 31

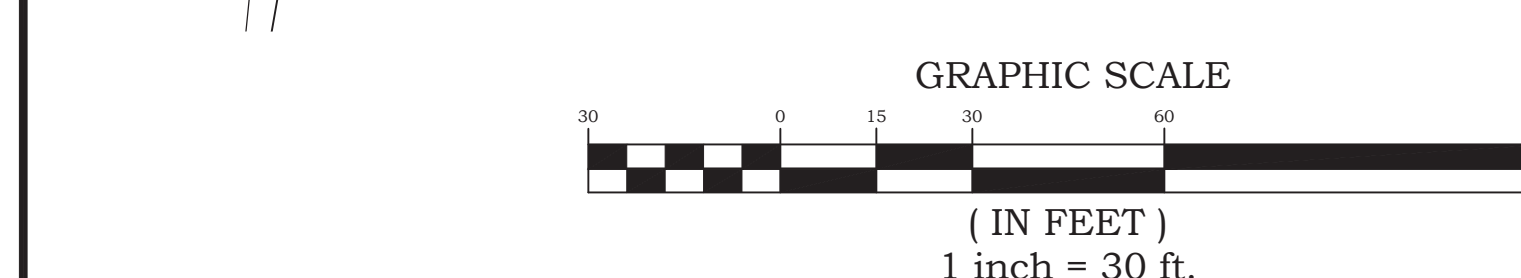
**EXISTING TREE LEGEND**

ITEM	EXISTING
OAK TREE WITH SIZE	OK24
ALDER TREE WITH SIZE	AL16
AMERICAN BIRCH WITH SIZE	AM14
MAPLE TREE WITH SIZE	MA18
MULBERRY TREE WITH SIZE	MU12
LEYLAND CYPRESS WITH SIZE	LC16
WALNUT TREE WITH SIZE	WA14
PEAR TREE WITH SIZE	PE12
TULIP POPLAR TREE WITH SIZE	TL16
CHERRY TREE WITH SIZE	CH10
BIRCH TREE WITH SIZE	BI24



**PLANT SCHEDULE**

CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER	MATURE HEIGHT	MATURE WIDTH	NATIVE
<b>EVERGREEN TREES</b>							
JV	11	JUNIPERUS VIRGINIANA / EASTERN RED CEDAR	6-7	B-B	30-65	8-25	YES
<b>SHADE TREES</b>							
NSW	8	NYSSA SYLVATICA / WILDPIRE / BLACK GUM	2 1/2-3" CAL.	B-B	30-50	20-30	YES
<b>DECIDUOUS SHRUBS</b>							
AM	30	ARONIA MELANOCARPA / LOW SCAPE MOUND ARONIA	15-18"	1 GAL	1-2'	2-3'	YES
HAA	18	HYDRANGEA ARBORESCENS 'ANNABELLE' / ANNABELLE SMOOTH HYDRANGEA	24-30"	3 GAL	3-5'	4-6'	YES
MP	3	MYRTA PENNSYLVANICA / NORTHERN BAYBERRY	30-36"	B-B	5-10'	5-10'	YES
POLJ	39	PHYSCARPUS OPULEFOLIUS 'LITTLE JOKER' / LITTLE JOKER NINEBARB	18-24"	3 GAL	3-4'	4-5'	YES
<b>EVERGREEN SHRUBS</b>							
IGS	21	ILEX GLABRA 'COMPACTA' / COMPACT INKBERRY	24-30"	B-B	4-6'	4-6'	YES
IGSB	8	ILEX GLABRA 'STRONG BOX' / STRONGBOX INKBERRY HOLLY	18-24"	3 GAL	2-3'	2-3'	YES
KO	33	KALMA LATIFOLIA 'OLYMPIC FIRE' / MOUNTAIN LAUREL	6-7"	B-B	4-6'	4-6'	YES
RM	38	RHOODENDRON MAXIMUM / ROSE BAY	6-7"	B-B	5-10'	5-10'	YES
<b>GROUND COVERS</b>							
CPE	231	CAREX PENNSYLVANICA / PENNSYLVANIA SEDGE	6-12"	1 GAL	5-1'	5-1'	YES



**COMPLIANCE CHART**

SECTION	REQUIREMENT	CALCULATIONS	COMPLIANCE
307-21: LANDSCAPE COVERAGE REQUIREMENTS	B.(1) IN ALL REQUIRED LANDSCAPED AREAS IN COMMERCIAL AND INDUSTRIAL DISTRICTS, THERE SHALL BE A MINIMUM OF TWO KINDS OF LANDSCAPE COVER, USING SOME COMBINATION OF TREES, SHRUBS AND GROUND COVER. B.(2) A PORTION OF SUCH REQUIRED LANDSCAPING SHALL BE LOCATED IN SUCH MANNER AS TO SEPARATE BUILDINGS, PARKING AREAS AND DRIVEWAYS FROM ADJUTING STREET LINES.	AT LEAST TWO KINDS OF LANDSCAPE COVER PROPOSED, SEE PLANT SCHEDULE.	COMPLIES
307-22: PARKING LOT LANDSCAPING REQUIREMENTS	B.(4) A PORTION OF THE REQUIRED LANDSCAPING SHALL BE USED TO SCREEN TRASH COLLECTION AND OUTDOOR STORAGE AREAS. SUCH SCREENING SHALL INCLUDE: (A) STRIPS OF LAND AT LEAST FOUR FEET WIDE, DENSELY PLANTED WITH SHRUBS AND/OR TREES; AND/OR (B) WALLS AND FENCES, NOT OF A CHAIN LINK VARIETY, SUFFICIENT TO PROVIDE VISUAL SCREENING. A. WHERE THE PROVISION OF OFF-STREET PARKING OF 30 OR MORE CARS IS REQUIRED BY THIS CHAPTER, LANDSCAPED AREAS SHALL BE PROVIDED WITHIN THE PERIMETER OF SAID PARKING AREAS.	TRASH COLLECTION AREA SURROUNDED BY MASONRY ENCLOSURE AND SCREENED BY EVERGREEN TREES IN A MINIMUM 4' WIDE PLANTED BED. MORE THAN 30 PARKING SPACES	COMPLIES N/A
307-23: BUFFERING REQUIREMENTS	A. WHERE A LOT IN A NONRESIDENTIAL DISTRICT ADJUTS A LOT IN A RESIDENTIAL DISTRICT, A BUFFER STRIP IN THE LOT IN THE NONRESIDENTIAL DISTRICT SHALL BE REQUIRED ALONG THE BOUNDARY OF THE LOT IN THE RESIDENTIAL DISTRICT, EXCEPT THAT NO SUCH BUFFER STRIP SHALL BE REQUIRED ALONG ANY ZONING DISTRICT BOUNDARY LINE WHICH DIVIDES A LOT INTO A RESIDENTIAL AND NONRESIDENTIAL DISTRICT. B.(2) BUFFER STRIPS OF THE FOLLOWING WIDTHS SHALL BE REQUIRED: (C) ZONE(S) (3) A SCREEN THAT IS OPAQUE FROM THE GROUND TO A HEIGHT OF AT LEAST SIX FEET, WITH INTERMITTENT VISUAL OBSTRUCTION FROM ABOVE THE OPAQUE PORTION TO A HEIGHT OF AT LEAST 10 FEET, SHALL BE PROVIDED WITHIN THE BUFFER STRIP. THE OPAQUE SCREEN SHALL BE DESIGNED TO EXCLUDE ALL VISUAL CONTACT BETWEEN USES AND TO CREATE A STRONG IMPRESSION OF SPATIAL SEPARATION. THE SCREEN MAY BE COMPOSED OF A WALL, FENCE, LANDSCAPED EARTH BERM, PLANTED VEGETATION OR EXISTING VEGETATION. THE REMAINING PORTION OF THE SCREEN MAY CONTAIN DECIDUOUS PLANTS. EXAMPLES OF SCREENS MEETING THIS STANDARD INCLUDE COMBINATIONS OF THE FOLLOWING: (A) SMALL TREES PLANTED 20 FEET ON CENTER. (B) LARGE TREES PLANTED 30 FEET ON CENTER AND SIX-FOOT-HIGH EVERGREEN SHRUBBERY PLANTED FOUR FEET ON CENTER. (C) TALL EVERGREEN TREES, STAGGER PLANTED, WITH BRANCHES TOUCHING THE GROUND.	RESIDENTIAL DISTRICTS LIE TO THE WEST AND SOUTH WEST: 5' SOUTH: 10' WEST: EXISTING DECIDUOUS TREES SUPPLEMENTED WITH TALL EVERGREEN TREES AND EXISTING PLANTING OF 6' TALL EVERGREEN SHRUBS SOUTH: EXISTING DECIDUOUS TREES SUPPLEMENTED WITH TALL EVERGREEN TREES AND EXISTING PLANTING OF 6' TALL EVERGREEN SHRUBS	PLANNING BOARD WAIVER COMPLIES
MAXIMUM BUILDING COVERAGE	(A) SMALL TREES PLANTED 20 FEET ON CENTER. (B) LARGE TREES PLANTED 30 FEET ON CENTER AND SIX-FOOT-HIGH EVERGREEN SHRUBBERY PLANTED FOUR FEET ON CENTER. (C) TALL EVERGREEN TREES, STAGGER PLANTED, WITH BRANCHES TOUCHING THE GROUND.		COMPLIES

**SEEDING SPECIFICATIONS**

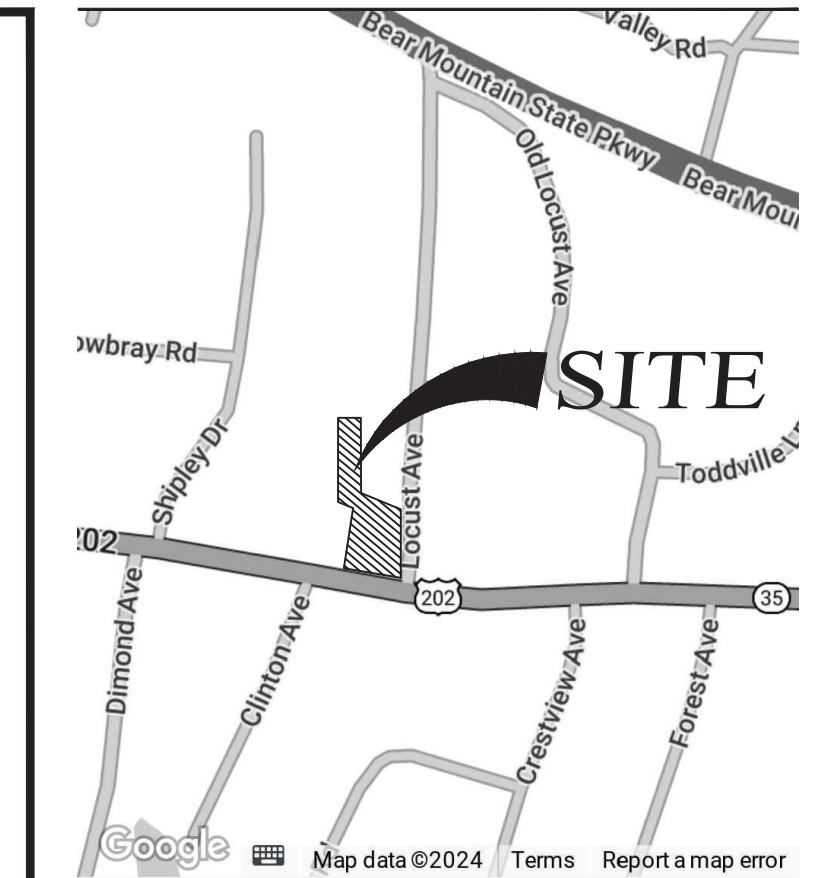
- PRIOR TO SEEDING, MIX TOP 5" LAYER OF TOPSOIL WITH FERTILIZER AND LIME. 10-10-10 FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 1 POUNDS PER 1,000 S.F. LIME SHALL BE APPLIED IN ACCORDANCE WITH THE FOLLOWING CHART:
 

SOIL TEXTURE	TONS/ACRE	LBS/1,000 S.F.
CLAY, CLAY LOAM, AND HIGH ORGANIC SOIL	3	135
SANDY LOAM, LOAM, SILT LOAM	2	90
LOAMY SAND, SAND	1	45

 ABOVE APPLICATION RATES FOR FERTILIZER AND LIME ARE STANDARD RATES AND SHALL BE ADJUSTED BASED ON SITE SPECIFIC SOIL TESTS.
- TOPSOIL SHALL BE TILLED, FINE GRADED, AND RAKED FREE OF ALL DEBRIS LARGER THAN 1" IN DIAMETER. ALL LAWN AREAS SHALL BE SLOPED TO DRAIN OR PER THE APPROVED GRADING PLAN.
- GENERAL LOW MAINTENANCE SEED MIX
 

SEED MIXTURE	LBS/ACRE	LBS/1,000 S.F.
FINE FESCUE (BLENDED)	130	3.0
HARD FESCUE		
CHEWING FESCUE		
STRONG CREEPING RED FESCUE	45	1.0
KENTUCKY BLUEGRASS	20	0.5
PERENNIAL RYEGRASS	5	0.1
WHITE CLOVER		
(WHITE CLOVER CAN BE REMOVED WHEN USED TO ESTABLISH LAWNS)		
- OPTIMAL PLANTING DATES
 

ZONE	SB & BA	315-531	AND 811-1011
ZONE BB	314-430	AND 8145-1015	
ZONE 7A & 7B	214-430	AND 8145-1030	
- MAINTENANCE LEVEL
  - (B) FREQUENT MOWING (4-7 DAYS), OCCASIONAL FERTILIZATION, LIME AND WEED CONTROL.
  - (C) PERIODIC MOWING (7-14 DAYS), OCCASIONAL FERTILIZATION AND LIME.
  - (D) INFREQUENT OR NO MOWING, FERTILIZATION AND LIME THE FIRST YEAR OF ESTABLISHMENT.
- SEED SHALL BE APPLIED IN TWO DIRECTIONS AT RIGHT ANGLES TO EACH OTHER. ONCE APPLIED, FIRM THE SOIL WITH A CORRUGATED LAWN ROLLER TO PROMOTE SEED-TO-SOIL CONTACT.
- APPLY UNROTTED SMALL GRAIN STRAW, HAY FREE OF SEEDS, OR SALT HAY TO ALL SEEDED AREAS AT THE RATE OF 1 1/2 - 2 TONS PER ACRE OR 70-90 POUNDS PER 1,000 S.F. SPREAD MULCH SO THAT APPROXIMATELY 85% OF THE SOIL SURFACE IS COVERED. ANCHORING OF MULCH SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE ACCOMPLISHED BY ONE OF THE FOLLOWING METHODS: PEG AND TWINE, MULCH NETTING, CRIMPER, OR LIQUID MULCH-BINDER.
- IRRIGATE WETTED SEEDED AREAS WITH A MINIMUM OF 1/4 INCH OF WATER TWICE A DAY (NOT DURING PERIODS OF INTENSE SUN) UNTIL VEGETATION IS WELL ESTABLISHED.



**PROJECT DATA**

APPLICANT/TOWNER: 3 LOCUST AVENUE LLC  
42 ADEQUACY ROAD  
GARRISON, NY 10524

TAX MAP NUMBER: Sect.34.5, Block 2, Lot 6

SITE AREA: OVERALL AREA = 110,078.59 SF (2.527 Acres)  
DISTRICT BOUNDARY AREA = 65,899.39 SF (1.513 Acres)

CURRENT USE: CON TRAINING CENTER

PROPOSED USE: SELF-STORAGE FACILITY

EXISTING FOOTPRINT: 5,786 SF

PROPOSED FOOTPRINT: 15,000 SF

GROSS FLOOR AREA: CELLAR: 15,000 SF  
ENTRY LEVEL: 15,000 SF  
SECOND LEVEL: 15,000 SF  
THIRD LEVEL: 15,000 SF  
FOURTH LEVEL: 15,000 SF  
TOTAL: 75,000 SF

**REVISIONS**

NO.	DATE	BY	DESCRIPTION
8	09/24/24	JK	REV. PER TOWN COMMENTS
7	08/06/24	JR	UPDATED PER SWPPP
6	08/22/24	JR	SHEET UNAFFECTED
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3	06/03/24	JR	REV. PER TOWN COMMENTS
2	05/01/24	JR	REV. PER ATTORNEY COMMENTS
1	04/15/24	JR	REVISE BULK TABLE

**KEY CIVIL ENGINEERING**  
664 BLUE POINT ROAD, UNIT B  
HOLTSVILLE, NEW YORK 11742  
(831) 961-0506  
www.KeyCivilEngineering.com

**PROPOSED SELF-STORAGE FACILITY**  
3 LOCUST AVENUE  
CORTLAND MANOR, NY 10567  
COUNTY OF WESTCHESTER  
SECT.: 34.5, BLOCK: 2, LOT: 6

**LANDSCAPE PLAN**

DATE: 03/22/2024  
SCALE: 1" = 30'  
PROJECT NUMBER: 24001  
DRAWING BY: JR  
CHECKED BY: JF  
APPROVED BY: MP

SEAL & SIGNATURE: *Marc Pilotta*  
MARC PILOTTA, P.E.  
NEW YORK STATE PROFESSIONAL ENGINEER #081988

DRAWING NO.: C-5  
PAGE NO.: 6 OF 11



**SITE LIGHTING NOTES**

1. REFER TO SITE PLAN (SHEET C-1) FOR ADDITIONAL NOTES.
2. NO REVISIONS, ALTERNATES, OR SUBSTITUTIONS TO THE CONTRACT DOCUMENTS ARE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL FROM THE ENGINEER.
3. ILLUMINATION LEVELS SHOWN IN FOOT-CANDELS.
4. ILLUMINATION LEVELS ON THIS PLAN HAVE BEEN CALCULATED FOR PROPOSED SITE AREA LIGHTS ONLY. ACTUAL ILLUMINATION LEVELS IN THE FIELD MAY DIFFER FROM THOSE DEPICTED ON THE PLAN DUE TO INTERFERENCE FROM EXISTING AMBIENT LIGHTING WHOSE ILLUMINATION LEVELS ARE NOT REFLECTED ON THIS PLAN.
5. LIGHT CIRCUITRY PLAN PREPARED BY OTHERS.
6. EXISTING AREA LIGHT SPECIFICATIONS WERE OBTAINED FROM PHASE 1 - SITE PLAN REVIEW. LIGHTING PLAN PREPARED BY SIDNEY B. BOWNE & SONS, LLP, DATED DECEMBER 1, 2010 (REVISION 11).
7. ILLUMINATION LEVELS SHOWN ON THIS PLAN WERE CALCULATED USING AGI32 PHOTOMETRIC SOFTWARE.



**VICINITY MAP**  
N.T.S.

**PROJECT DATA**

APPLICANT/TOWNER: 3 LOCUST AVENUE LLC  
42 AQUeduct ROAD  
GARRISON, NY 10524

TAX MAP NUMBER: Sect.34.5, Block 2, Lot 6

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**REVISIONS**

**CIVIL ENGINEERING**  
664 BLUE POINT ROAD, UNIT B  
HOLTSVILLE, NEW YORK 11742  
(631) 961-0506  
www.KeyCivilEngineering.com

PROJECT NAME: **PROPOSED SELF-STORAGE FACILITY**  
3 LOCUST AVENUE  
CORTLANDT MANOR, NY 10567  
COUNTY OF WESTCHESTER  
SECT.: 34.5, BLOCK: 2, LOT: 6

**DRAWING TITLE**  
**SITE LIGHTING PLAN**

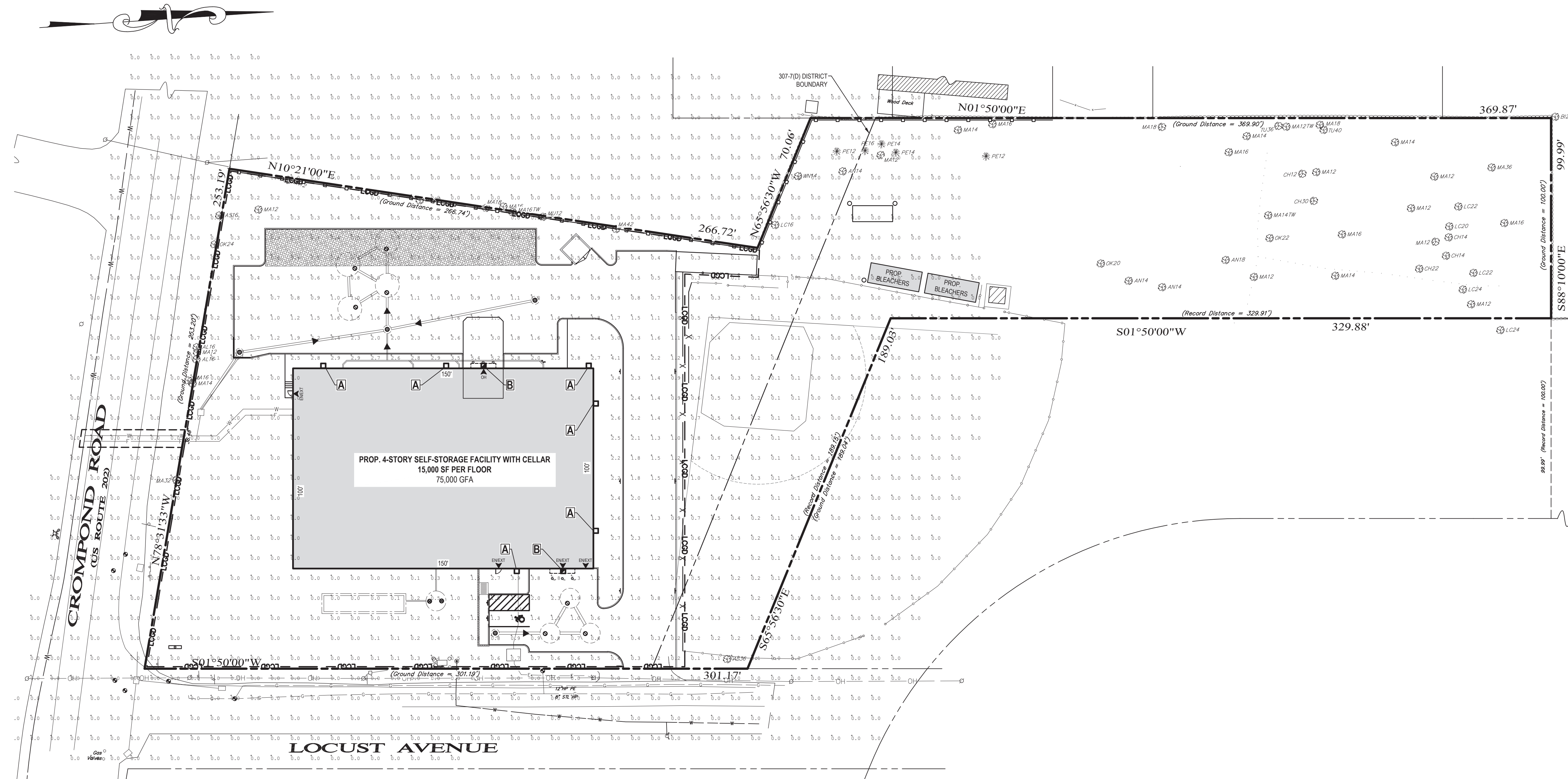
DATE: 03/22/2024  
SCALE: 1" = 30'  
PROJECT NUMBER: 24001  
DRAWING BY: JR  
CHECKED BY: JF  
APPROVED BY: MP

SEAL & SIGNATURE:

MARC PIOTTA, P.E.  
NEW YORK STATE PROFESSIONAL ENGINEER #081558

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DRAWING No: **C-6**  
PAGE No: 7 OF 11



NON ESSENTIAL EXTERIOR LIGHTING SHALL BE TURNED OFF NO LATER THAN 10:00 P.M. FOR BUSINESSES CLOSED BEFORE 9:00 P.M.

**LUMINAIRE SCHEDULE**

SYMBOL	QUANTITY	LABEL	FIXTURE ARRANGEMENT	FIXTURE COUNT	MANUFACTURER / FIXTURE DESCRIPTION / MOUNTING TYPE	MOUNTING HEIGHT	LLF	COLOR TEMPERATURE	ARRANGEMENT WATTS	TOTAL WATTS
□	6	A	SINGLE	1	PROPOSED / MCGRAW-EDISON / GWC-542A-727-U-TAW / BUILDING	18'-0"	0.900	2700 K	109	654.0
■	2	B	SINGLE	1	MAXILUME / HH4-LED-WDM-27K-18K-1200L-WD-HH4-4501-CL-WH-HESNA2002 / CANOPY	10'-0"	0.900	2700 K	12	12.0

**CALCULATION SUMMARY**

LABEL	CALC TYPE	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
PARKING LOT	ILLUMINANCE	Fc	0.28	5.80	0.00	N/A	N/A



**BUILDING MOUNTED LUMINAIRE**

MANUFACTURER: MCGRAW-EDISON  
MODEL: GWC GALLEON  
LABEL: A  
COLOR: TBD BY OWNER

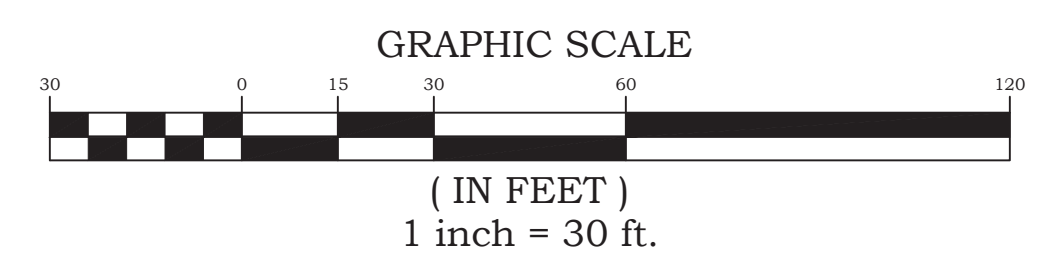


**CANOPY/SOFFIT LUMINAIRE**

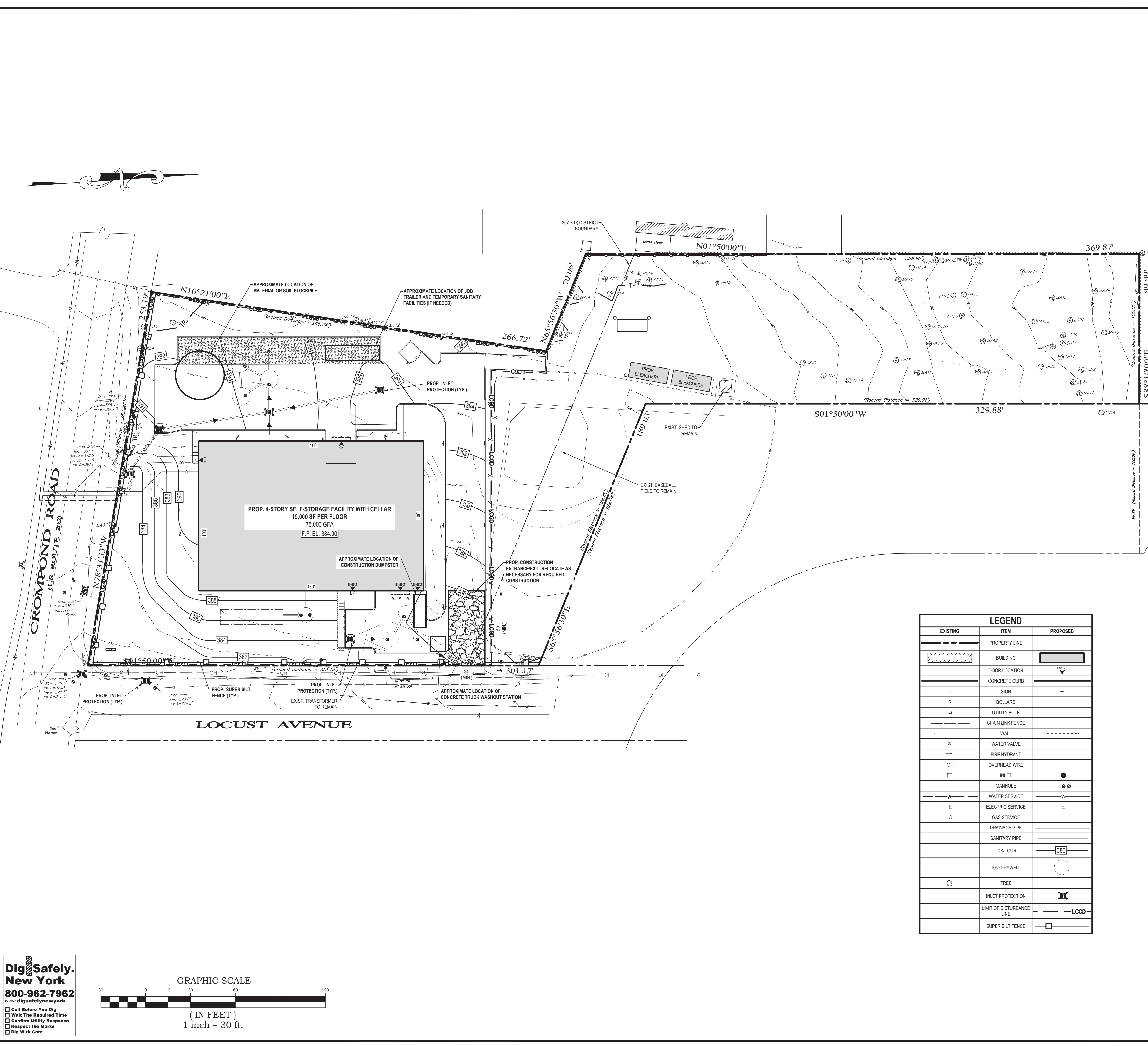
MANUFACTURER: MAXILUME  
MODEL: HH4-LED  
LABEL: B  
COLOR: TBD BY OWNER

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- Wait The Required Time
- Confirm Utility Response
- Respect the Marks
- Dig With Care







**SOIL EROSION & SEDIMENT CONTROL NOTES:**

- REFER TO SITE PLAN (SHEET C-1) FOR ADDITIONAL NOTES.
- THE STORMWATER POLLUTION PREVENTION PRACTICES PROPOSED HEREON HAVE BEEN IDENTIFIED AS THE MINIMUM RECOMMENDED PRACTICES. ADDITIONAL STORMWATER MANAGEMENT FACILITIES OR PRACTICES SHALL BE INSTALLED TO COMPLY WITH ALL APPLICABLE CODES AND STANDARDS AND PREVENT THE INCIDENTAL DISCHARGE OF SILT-LADEN RUNOFF FROM EXITING THE SITE. CONTRACTOR TO NOTIFY IN WRITING AND CONSULT WITH THE ENGINEER OF RECORD IF ADDITIONAL MEASURES ARE REQUIRED OR IF THERE IS EVIDENCE INDICATING POTENTIAL OR REALIZED IMPACTS ON WATER QUALITY DUE TO ANY STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- NOTHING IN THIS STORMWATER POLLUTION PREVENTION PLANS DRAWINGS OR ANY ASSOCIATED REPORTS RELIEVES THE CONTRACTOR OR OWNER/OPERATOR FROM OBTAINING ANY OTHER PERMITS REQUIRED BY LAW OR COMPLIANCE WITH TAKING ALL REASONABLE STEPS TO MINIMIZE OR PREVENT ANY DISCHARGE IN VIOLATION OF NYS DEC OR WHICH HAS A REASONABLE LIKELIHOOD OF ADVERSELY AFFECTING HUMAN HEALTH OR THE ENVIRONMENT.
- CONTRACTOR SHALL BE FAMILIAR WITH THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL ("BLUE BOOK") DATED NOVEMBER 2016. ANY REPORTS PREPARED SPECIFICALLY FOR THIS PROJECT, AND THE REQUIREMENTS OF THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION FOR STORMWATER DISCHARGE.
- EROSION CONTROL MEASURES TO PREVENT THE INCIDENTAL DISCHARGE OF SILT-LADEN RUNOFF FROM EXITING THE SITE SHALL, AT A MINIMUM, CONFORM TO THE NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, UNLESS ADDITIONAL MEASURES ARE NOTED OR REQUIRED BY THE ENGINEER OF RECORD.
- IT SHALL NOT BE A DEFENSE FOR A CONTRACTOR OR AN OWNER/OPERATOR IN AN ENFORCEMENT ACTION THAT IT WOULD HAVE BEEN NECESSARY TO HALT OR REDUCE THE CONSTRUCTION ACTIVITY IN ORDER TO MAINTAIN COMPLIANCE WITH THE NYS DEC STORMWATER DISCHARGE REQUIREMENTS OR IMPLEMENT EROSION AND SEDIMENT CONTROL PRACTICES. SOIL EROSION CONTROL MEASURES SHALL BE ADJUSTED/RELOCATED BY CONTRACTOR AS IDENTIFIED DURING SITE INSPECTIONS IN ORDER TO MAINTAIN EFFECTIVENESS OF CONTROL MEASURES.
- THE COSTS OF INSTALLING AND MAINTAINING THE EROSION CONTROL MEASURES SHALL BE DEEMED INCLUDED IN THE PRICE BID FOR THE SITE WORK.
- INSTALLATION OF EROSION CONTROL, CLEARING, AND SITE WORK SHALL BE DONE AS INDICATED IN THE CONSTRUCTION SEQUENCE.
- INSTALLATION OF EROSION CONTROL DEVICES SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND REQUIREMENTS.
- CONTRACTOR SHALL INSPECT THE EROSION AND SEDIMENT CONTROL PRACTICES AND POLLUTION PREVENTION MEASURES BEING IMPLEMENTED AFTER EACH RAINFALL EVENT AND DAILY WITHIN THE ACTIVE WORK AREA TO ENSURE THAT THEY ARE BEING MAINTAINED IN EFFECTIVE OPERATING CONDITION AT ALL TIMES. INSPECTION OF ALL IMPLEMENTED PRACTICES SHALL OCCUR WEEKLY AT A MINIMUM. IF DEFICIENCIES ARE IDENTIFIED, THE CONTRACTOR SHALL BEGIN IMPLEMENTING CORRECTIVE ACTIONS WITHIN ONE BUSINESS DAY AND SHALL COMPLETE THE CORRECTIVE ACTIONS IN A REASONABLE TIME FRAME.
- CONTRACTOR SHALL REMOVE ANY SILT FROM SOIL EROSION AND SEDIMENT CONTROL MEASURES WHEN IT REACHES (1/2) ONE-HALF CAPACITY UNLESS OTHERWISE NOTED OR AS DIRECTED BY THE ENGINEER. THE MATERIAL SHOULD BE INCORPORATED INTO THE SITE IN A STABILIZED MANNER.
- TEMPORARY SEED AND MULCH SHALL BE APPLIED TO ALL DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINISHED GRADE AND VEGETATED WITHIN 15 DAYS. WHEN AREAS ARE DISTURBED AFTER THE GROWING SEASON, THEY SHALL BE STABILIZED WITH GEOTEXTILE FABRIC AND MAINTAINED ACCORDING TO BEST PRACTICES.
- CONTINUE INSPECTION AND REPAIR OF STORMWATER POLLUTION PREVENTION MEASURES UNTIL THE COMPLETION OF CONSTRUCTION AND PERMANENT STABILIZATION IS ACHIEVED.
- REMOVE EROSION CONTROL MEASURES, SILT, AND DEBRIS UPON ESTABLISHMENT OF PERMANENT STABILIZED COVER OF ALL UPSTREAM / TRIBUTARY AREAS.
- DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL UNSUITABLE MATERIAL AND DEBRIS SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL CITY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES.
- THESE PLANS ARE BASED ON INFORMATION AVAILABLE TO OUR OFFICE AT THE TIME OF PLAN PREPARATION. CONTRACTOR SHALL FIELD-VERIFY EXISTING CONDITIONS AND NOTIFY OUR OFFICE IF ACTUAL SITE CONDITIONS DIFFER FROM THAT SHOWN ON THE PLAN, OR IF THE PROPOSED WORK WOULD BE IMPACTED BY ANY OTHER SITE FEATURES.
- EXISTING TREES AND SHRUBS TO REMAIN SHALL BE PROTECTED BY THE CONTRACTOR.
- REFER TO GRADING AND LANDSCAPING PLANS FOR ADDITIONAL INFORMATION.
- CONTRACTOR SHALL CLEAN ALL ON-SITE EXISTING & PROPOSED DRAINAGE STRUCTURES AND INTERCONNECTING PIPE AT END OF PROJECT AS WELL AS ANY OFF-SITE DRAINAGE STRUCTURES THAT MAY HAVE RECEIVED RUNOFF FROM THE SITE.
- CONTRACTOR SHALL PROVIDE TEMPORARY INLET PROTECTION BEYOND THE LIMITS OF DISTURBED AREA AS NECESSARY TO PREVENT SILT AND DEBRIS FROM CONSTRUCTION ACTIVITIES GETTING INTO ANY DRAINAGE SYSTEM FOR WHICH THE PROJECT IMPACTS.
- CONTRACTOR SHALL LOCATE CONCRETE WASHOUT AREA, STOCKPILE AREA, AND CONSTRUCTION WASTE MATERIAL STORAGE AREAS SO AS TO MINIMIZE EXPOSURE TO STORMWATER. CONSTRUCTION WASTE SHALL BE IMMEDIATELY PLACED IN ON-SITE STORAGE CONTAINERS UNTIL READY FOR OFF-SITE DISPOSAL. CONTRACTOR SHALL MAINTAIN SPILL PREVENTION & RESPONSE EQUIPMENT AND MAKE AVAILABLE ON-SITE FOR USE BY CONTRACTOR'S EMPLOYEES TRAINED IN THE APPLICATION OF SPILL PREVENTION & RESPONSE PROCEDURES.
- CONTRACTOR SHALL IDENTIFY LOCATION OF WASTE CONTAINERS, FUEL STORAGE TANKS, CONCRETE WASHOUT AREAS AND ANY OTHER LOCATIONS WHERE HAZARDOUS MATERIALS ARE STORED ON THE PLAN.
- DEWATERING (IF REQUIRED) SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL & STATE REGULATIONS, AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ANY NECESSARY ASSOCIATED DISCHARGE PERMITS.
- THE FOLLOWING EROSION CONTROL MEASURES ARE PROPOSED FOR THIS SITE:
  - STABILIZED CONSTRUCTION ENTRANCE/EXIT - A TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT SHALL BE INSTALLED AT THE DRIVEWAY ON FLANDERS ROAD. THIS AREA SHALL BE GRADED SO THAT RUNOFF WATER WILL BE RETAINED ON-SITE.
  - INLET PROTECTION - IMMEDIATELY INSTALL FOR EACH INLET AS DRAINAGE STRUCTURES ARE INSTALLED.
  - DUST CONTROL - STOCKPILES OF SOIL SHOULD BE LIMITED TO 15' MAXIMUM HEIGHT AND REMOVED OR UTILIZED FOR SITE CONSTRUCTION AS SOON AS PRACTICABLE. SHOULD EXCESSIVE DUST BE GENERATED, THE CONTRACTOR SHALL APPLY WATER TO BARE SOIL SURFACES TO MINIMIZE BLOWING DUST.
- THE RIGHT-OF-WAY IS NOT TO BE USED FOR STORAGE OR STAGING OF EQUIPMENT OR MATERIALS DURING CONSTRUCTION. THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTAINING THE RIGHT-OF-WAY DURING CONSTRUCTION AND SHOULD INSTALL FENCING ALONG THE PROPERTY'S FRONTAGE TO LIMIT ACCESS FOR CONSTRUCTION VEHICLES TO DEFINED POINTS OF INGRESS/EGRESS.
- IN AREAS WHERE SOIL DISTURBANCE ACTIVITY HAS PERMANENTLY OR TEMPORARILY (EXISTING DISTURBED AREA WILL NOT BE DISTURBED AGAIN WITHIN 14 CALENDAR DAYS OF THE PREVIOUS SOIL DISTURBANCE) CEASED, THE APPLICATION OF SOIL STABILIZATION MEASURES MUST BE INITIATED BY THE END OF THE NEXT BUSINESS DAY AND COMPLETED WITHIN FOURTEEN (14) DAYS FROM THE DATE THE CURRENT SOIL DISTURBANCE ACTIVITY CEASED.



**PROJECT DATA**

APPLICANT/OWNER: 3 LOCUST AVENUE LLC  
42 AQUeduct ROAD  
GARRISON, NY 10524

TAX MAP NUMBER: Sect.34.5, Block 2, Lot 6

SITE AREA: OVERALL AREA = 110,078.59 SF (2.527 Acres)  
DISTRICT BOUNDARY AREA = 65,899.39 SF (1.513 Acres)

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PROPOSED USE: SELF-STORAGE FACILITY

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PROPOSED FOOTPRINT: 15,000 SF

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**REVISIONS**

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664 BLUE POINT ROAD, UNIT B  
HOLTSVILLE, NEW YORK 11742  
(631) 961-0506  
www.KeyCivilEngineering.com

**PROJECT NAME**

**PROPOSED SELF-STORAGE FACILITY**

3 LOCUST AVENUE  
CORTLANDT MANOR, NY 10567  
COUNTY OF WESTCHESTER  
SECT.: 34.5, BLOCK: 2, LOT: 6

**DRAWING TITLE**

**SOIL EROSION & SEDIMENT CONTROL PLAN**

DATE: 03/22/2024

SCALE: 1" = 30'

PROJECT NUMBER: 24001

DRAWING BY: JR

CHECKED BY: JF

APPROVED BY: MP

SEAL & SIGNATURE:

MARC PIOTTA, P.E.  
NEW YORK STATE PROFESSIONAL ENGINEER #081558

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DRAWING No: C-7

PAGE No: 8 OF 11

**LEGEND**

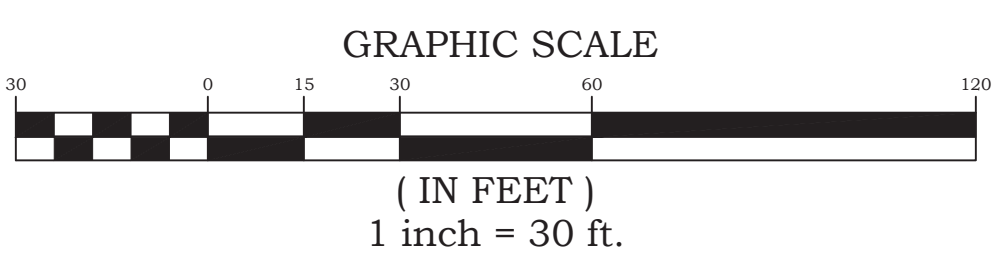
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---	PROPERTY LINE	---
▭	BUILDING	▭
▭	DOOR LOCATION	▭
▭	CONCRETE CURB	▭
+	SIGN	+
○	BOLLARD	○
○	UTILITY POLE	○
---	CHAIN LINK FENCE	---
---	WALL	---
⊙	WATER VALVE	⊙
⊙	FIRE HYDRANT	⊙
OH	OVERHEAD WIRE	OH
□	INLET	●
□	MANHOLE	●
W	WATER SERVICE	W
E	ELECTRIC SERVICE	E
G	GAS SERVICE	G
---	DRAINAGE PIPE	---
---	SANITARY PIPE	---
---	CONTOUR	386
○	100 DRYWELL	○
⊙	TREE	⊙
---	INLET PROTECTION	---
---	LIMIT OF DISTURBANCE LINE	---
---	SUPER SILT FENCE	---

**AREA DATA**

PROPERTY AREA	110,078.59 SF (2.527 Acres)
EXISTING IMPERVIOUS AREA	33,711.59 SF (0.774 Acres)
PERVIOUS AREA	76,367 SF (1.753 Acres)
PROPOSED IMPERVIOUS AREA	33,690 SF (0.773 Acres)
PERVIOUS AREA	76,388 SF (1.754 Acres)

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BMP IMPLEMENTATION AND MAINTENANCE SEQUENCE		
SEQUENCE DESCRIPTION	BMP ACTIVITIES	MAINTENANCE FREQUENCY
PRE-CONSTRUCTION	INSTALL INLET PROTECTION ON EXISTING INLETS INSTALL PERIMETER SEDIMENT CONTROL / SILT FENCE INSTALL STABILIZED CONSTRUCTION ACCESS INSTALL WORK TRAILER OR MAILBOX FOR CONSTRUCTION PERMIT PAPERWORK STORAGE IDENTIFY THE SOIL STOCKPILE STORAGE AND CONSTRUCTION STAGING AREAS	WEEKLY OR AS REQUIRED
EARTHWORK	APPLY DUST CONTROL INSTALL TEMPORARY RUN-OFF AND DRAINAGE CONTROL SWEEP THE SOIL ON ROADWAYS	DAILY
BUILDING CONSTRUCTION	MATERIAL STOCKPILE PERIMETER CONTROL & STABILIZATION	AS REQUIRED
RUN-OFF AND DRAINAGE CONTROL	INSTALL NEW DRAINAGE SYSTEM INSTALL INLET PROTECTION FOR NEW SYSTEM	WEEKLY OR AS REQUIRED
GRADING, DRAINAGE, & UTILITY INSTALLATION AND STABILIZATION	GRADE SITE AREAS STABILIZE EXPOSED AREAS INSTALL EROSION CONTROL MEASURES	AS REQUIRED
FINALIZE GRADING	REMOVE TEMPORARY ESC MEASURES	MONTHLY OR AS REQUIRED
POST CONSTRUCTION STORMWATER MANAGEMENT AND INTERCONNECTING PIPE	CLEAN ALL DRAINAGE STRUCTURES AND PIPE THAT MAY HAVE RECEIVED RUNOFF	ANNUALLY OR AS REQUIRED
INSPECTION REQUIRED		
PRE-CONSTRUCTION		
TRAINED CONTRACTOR: DAILY	INSPECT SEDIMENT BASINS, PERIMETER SEDIMENT CONTROLS, STABILIZED CONSTRUCTION ACCESS, INLET PROTECTION, AND OTHER BMPs	UPDATE SWPPP AS REQUIRED
QUALIFIED INSPECTOR: 1WK		
POST FINAL STABILIZATION		
NOTES:		
1. BMP ACTIVITIES IDENTIFIED FOR EACH DESCRIPTION SHALL BE IMPLEMENTED AT THE START OF EACH SEQUENCE AND BE MAINTAINED UNTIL PERMANENT STABILIZATION IS ACHIEVED. 2. IMPLEMENTATION OF BMP ACTIVITIES SHALL IN NO WAY RELIEVE THE CONTRACTOR OF OBLIGATIONS REGARDING OTHER CONSTRUCTION ACTIVITIES AND TIME FRAMES.		

SOIL RESTORATION REQUIREMENTS DURING CONSTRUCTION ACTIVITY		
TYPE OF SOIL DISTURBANCE	SOIL RESTORATION REQUIREMENT	COMMENTS/EXAMPLES
NO SOIL DISTURBANCE	RESTORATION NOT PERMITTED	PRESERVATION OF NATURAL FEATURES
MINIMAL SOIL DISTURBANCE	RESTORATION NOT REQUIRED	CLEARING AND GRUBBING
AREAS WHERE TOPSOIL IS STRIPPED ONLY - NO CHANGE IN GRADE	HYDROLOGIC SOIL GROUP A & B APPLY 6 INCHES OF TOPSOIL HYDROLOGIC SOIL GROUP C & D AERATE* AND APPLY 6 INCHES OF TOPSOIL	PROTECT AREA FROM ANY ONGOING CONSTRUCTION ACTIVITIES
AREAS OF CUT OR FILL	HYDROLOGIC SOIL GROUP A & B AERATE* AND APPLY 6 INCHES OF TOPSOIL HYDROLOGIC SOIL GROUP C & D APPLY FULL SOIL RESTORATION**	
HEAVY TRAFFIC AREAS ON SITE (ESPECIALLY IN ZONE 5) FEET AROUND BUILDINGS (NOT WITHIN A FOOT PERIMETER AROUND FOUNDATION WALLS)	APPLY FULL SOIL RESTORATION (DECOMPACTION AND COMPOST ENHANCEMENT)	
AREAS WHERE RUNOFF REDUCTION AND/OR INFILTRATION PRACTICES ARE APPLIED	RESTORATION NOT REQUIRED, BUT MAY BE APPLIED TO ENHANCE THE REDUCTION SPECIFIED FOR APPROPRIATE PRACTICES.	KEEP CONSTRUCTION EQUIPMENT FROM CROSSING THESE AREAS TO PROTECT NEWLY INSTALLED BMP FROM ANY ONGOING CONSTRUCTION ACTIVITIES. CONSTRUCT A FENCE AROUND BMP.
REDEVELOPMENT PROJECTS	SOIL RESTORATION IS REQUIRED ON REDEVELOPMENT PROJECTS IN AREAS WHERE EXISTING IMPERVIOUS AREA WILL BE CONVERTED TO PERVIOUS AREA.	

\* AERATION INCLUDES THE USE OF MACHINES SUCH AS TRACTOR-DRAWN IMPLEMENTS WITH COLLECTORS MAKING A NARROW SLIT IN THE SOIL, A ROLLER WITH MANY SPIKES MAKING INDENTATIONS IN THE SOIL, OR PRONGS WHICH FUNCTION LIKE A MINI-SUBSOILER.  
\*\* PER "DEEP RIPPERING AND DE-COMPACTION, DEC 2008"

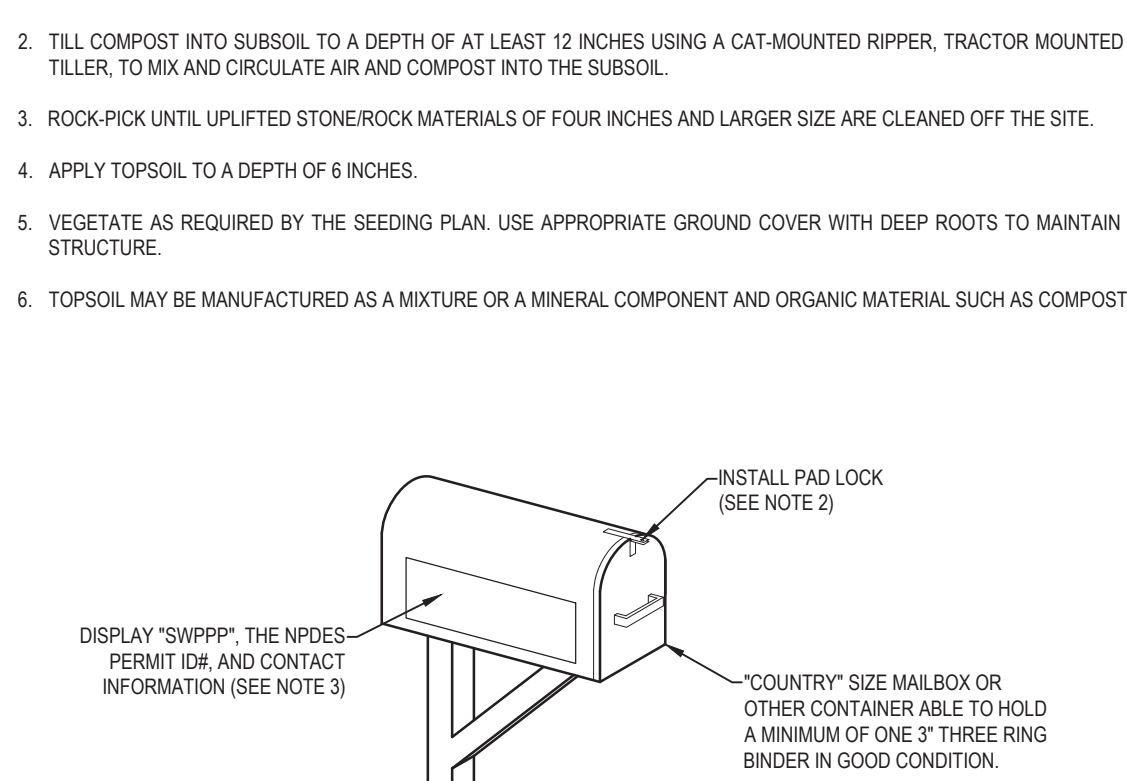
**SOIL RESTORATION NOTES:**  
1. SOIL RESTORATION IS TO BE APPLIED TO PROPOSED VEGETATED AREAS WHERE ANY HEAVY CONSTRUCTION VEHICLE HAS BEEN OR OVER COMPACTION HAS OCCURRED AND FINAL STABILIZATION IS TO BEGIN. THIS IS GENERALLY APPLIED IN THE CLEANUP, SITE RESTORATION, AND LANDSCAPING PHASE OF CONSTRUCTION FOLLOWED BY THE PERMANENT ESTABLISHMENT OF AN APPROPRIATE GROUND COVER TO MAINTAIN THE SOIL STRUCTURE. SOIL RESTORATION MEASURES SHOULD BE APPLIED OVER AND ADJACENT TO ANY RUNOFF REDUCTION PRACTICES TO ACHIEVE DESIGN PERFORMANCE.  
2. AT THE END OF THE PROJECT AN INSPECTOR SHOULD BE ABLE TO PUSH A 3/8" METAL BAR 12 INCHES INTO THE SOIL JUST WITH BODY HEIGHT. THIS SHOULD NOT BE PERFORMED WITHIN THE DRIP LINE OF ANY EXISTING TREES OR OVER UTILITY INSTALLATIONS THAT ARE WITHIN 24 INCHES OF THE SURFACE.  
3. TO MAINTAIN SOIL RESTORATION, KEEP THE SITE FREE OF VEHICULAR AND FOOT TRAFFIC OR OTHER WEIGHT LOADS.

**SOIL RESTORATION PROCEDURE:**  
DURING PERIODS OF RELATIVELY LOW TO MODERATE SUBSOIL MOISTURE, THE DISTURBED SUBSOILS ARE RETURNED TO ROUGH GRADE AND THE FOLLOWING SOIL RESTORATION STEPS APPLIED:  
1. APPLY 3 INCHES OF COMPOST OVER SUBSOIL. THE COMPOST SHALL BE WELL DECOMPOSED (MATURED AT LEAST 3 MONTHS), WEEF-FREE, ORGANIC MATTER. IT SHALL BE AEROBICALLY COMPOSTED, POSSESSED NO OBJECTIONABLE ODOORS, AND CONTAIN LESS THAN 1% BY DRY WEIGHT, OF MAN-MADE FOREIGN MATTER. THE PHYSICAL PARAMETERS OF THE COMPOST SHALL MEET THE STANDARDS LISTED IN TABLE 52 - COMPOST STANDARDS TABLE OF THE NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, EXCEPT FOR "PARTICLE SIZE" 100% WILL PASS THE 1/2" SIEVE.  
1.1. NOTE: ALL BIOSOLIDS COMPOST PRODUCED IN NEW YORK STATE (OR APPROVED FOR IMPORTATION) MUST MEET NYS DEC'S 6 NYCRR PART 360 (SOLID WASTE MANAGEMENT FACILITIES) REQUIREMENTS. THE PART 360 REQUIREMENTS ARE EQUAL TO OR MORE STRINGENT THAN 40 CFR PART 503 WHICH ENSURE SAFE STANDARDS FOR PATHOGEN REDUCTION AND HEAVY METALS CONTENT.  
2. TILL COMPOST INTO SUBSOIL TO A DEPTH OF AT LEAST 12 INCHES USING A CAT-MOUNTED RIPPER, TRACTOR MOUNTED DISC, OR TILLER, TO MIX AND CIRCULATE AIR AND COMPOST INTO THE SUBSOIL.  
3. ROCK-PICK UNTIL UNLIFTED STONE/ROCK MATERIALS OF FOUR INCHES AND LARGER SIZE ARE CLEANED OFF THE SITE.  
4. APPLY TOPSOIL TO A DEPTH OF 6 INCHES.  
5. VEGETATE AS REQUIRED BY THE SEEDING PLAN. USE APPROPRIATE GROUND COVER WITH DEEP ROOTS TO MAINTAIN THE SOIL STRUCTURE.  
6. TOPSOIL MAY BE MANUFACTURED AS A MIXTURE OR A MINERAL COMPONENT AND ORGANIC MATERIAL SUCH AS COMPOST.

**CONSTRUCTION PERMIT PAPERWORK STORAGE NOTES:**  
1. CONTRACTOR MUST MAINTAIN THE SWPPP BINDER IN A SECURE LOCATION, SUCH AS A JOB TRAILER, ON-SITE CONSTRUCTION OFFICE, OR MAILBOX WITH LOCK. THE SECURE LOCATION MUST BE ACCESSIBLE DURING NORMAL BUSINESS HOURS TO AN INDIVIDUAL PERFORMING COMPLIANCE INSPECTION.  
2. PROVIDE A DIGIT OR CHARACTER PAD LOCK (MINIMUM FOUR DIGITS OR CHARACTERS) AND PROVIDE COMBINATION TO TRAINED CONTRACTOR AND QUALIFIED INSPECTOR. A KEY SHALL NOT BE REQUIRED.  
3. CONTACT INFORMATION SHALL INCLUDE THE NAME AND PHONE NUMBER OF EACH OF THE TRAINED CONTRACTOR, QUALIFIED INSPECTOR, AND OWNER / OPERATOR.  
4. PAPERWORK SHALL NOT BE TAKEN OFF SITE (SUCH AS STORED IN A WORK VEHICLE).

**CONSTRUCTION PERMIT PAPERWORK INCLUDES:**  
A. SWPPP (STORMWATER POLLUTION PREVENTION PLAN).  
B. NO NOTICE OF INTENT / ACKNOWLEDGEMENT LETTER FROM DEC.  
C. NO SIGNED BY OWNER AND SWPPP PREPARER.  
D. MS4 SWPPP ACCEPTANCE FORM.  
E. NYS DEC GENERAL PERMIT No. GP-0-15-002.  
F. SITE LOG BOOK INCLUDING CERTIFICATIONS, SITE INSPECTION REPORTS, AND SWPPP UPDATES.

**CONSTRUCTION PERMIT PAPERWORK STORAGE**  
N.T.S.



**CONSTRUCTION PERMIT PAPERWORK STORAGE**  
N.T.S.

**CONSTRUCTION PERMIT PAPERWORK STORAGE**  
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**CONSTRUCTION PERMIT PAPERWORK STORAGE**  
N.T.S.

GEOTEXTILE, FILTER FABRIC, OR SILT FENCE FABRIC PLACED UNDER INLET GRATE IS NOT AN ACCEPTABLE STORMWATER MANAGEMENT PRACTICE

NYS STANDARD INLET PROTECTION TYPES AND USES			
TYPE	EXAMPLE	USAGE	NOTES
0	FABRIC PLACED UNDER INLET GRATE	NOT PERMITTED	THIS METHOD OF INLET PROTECTION IS NOT ACCEPTABLE.
I	EXCAVATED DROP INLET PROTECTION	DURING INITIAL OVERLOT GRADING AFTER THE STORM DRAIN TRUNK IS INSTALLED	MAXIMUM SIDE SLOPES OF 2:1. MINIMUM DEPTH 1 FOOT. MAXIMUM DEPTH 2 FEET. CONTAIN 900 CF PER TRIBUTARY ACRE.
II	FABRIC DROP INLET PROTECTION	DURING FINAL ELEVATION GRADING PHASES AFTER THE STORM DRAIN SYSTEM IS COMPLETED	MAX SLOPE OF 1% OF SURROUNDING AREA. 1.5" MAX UN-REINFORCED HEIGHT OF FABRIC. MAINTAIN OVERFLOW TO DROP INTO THE DROP INLET.
III	STONE & BLOCK DROP INLET PROTECTION	DURING THE INITIAL AND INTERMEDIATE OVERLOT GRADING OF A CONSTRUCTION SITE	MINIMUM STONE BARRIER HEIGHT OF 1'. MAXIMUM STONE BARRIER HEIGHT OF 2'. DO NOT USE MORTAR. LIMIT HEIGHT TO PREVENT PONDING OR BYPASS FLOW.
IV	PAVED SURFACE INLET PROTECTION	USED AFTER PAVEMENT CONSTRUCTION HAS BEEN DONE WHILE FINAL GRADING AND SOIL STABILIZATION IS OCCURRING	USE WITH UPSTREAM BUFFER STRIPS AND TEMPORARY SURFACE STABILIZATION. PLACE AT INLET PERIMETER OR BEYOND. INTEGRATE TRAFFIC SAFETY. DO NOT CAUSE FLOODING OR BYPASS FLOW.
V	MANUFACTURED INSERT INLET PROTECTION	INSTALLED AND ANCHORED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS AND DESIGN DETAILS	FABRIC WILL EQUAL OR EXCEED THE PERFORMANCE STANDARD FOR THE SILT FENCE FABRIC. THE INSERTS WILL BE INSTALLED TO PRESERVE A MINIMUM OF 50% OF THE OPEN UNOBSTRUCTED DESIGN FLOW AREA OF THE STORM DRAIN INLET OPENING.

**INLET PROTECTION NOTES:**  
1. CONTRACTOR MAY USE THE TYPE SUITABLE FOR THE SITUATION AND THEIR MEANS AND METHODS UNLESS NOTED OTHERWISE ON PLAN. CONTRACTOR MUST SUBMIT SPECIFICATION OF ANY TYPE I TO ENGINEER BEFORE USE.  
2. THE DRAINAGE AREA FOR A STORM DRAIN INLET WITH INLET PROTECTION SHALL NOT EXCEED 1 ACRE.  
3. IMMEDIATELY INSTALL INLET PROTECTION WHEN A STORM DRAIN INLET IS CONSTRUCTED.  
4. EROSION CONTROL/TEMPORARY STABILIZATION MEASURES MUST BE IMPLEMENTED ON THE DISTURBED DRAINAGE AREA TRIBUTARY TO THE INLET.  
5. TYPE IV INLET PROTECTION PRACTICES INCLUDE COMPOST FILTER SOCKS, GEO-TUBES FILLED WITH BALLAST, AND OTHER APPROVED EQUAL, MANUFACTURED SURFACE BARRIERS.  
6. TYPE V INLET PROTECTION PRACTICES INCLUDE DANDY SACK, FLEXSTORM CATCH-IT, ULTRATECH ULTRA-DRAIN GUARD, AND OTHER APPROVED EQUAL, MANUFACTURED INLET INSERT.

**INLET PROTECTION**  
N.T.S.

**DEFINITION:**  
THE CONTROL OF DUST RESULTING FROM LAND-DISTURBING ACTIVITIES.

**PURPOSE:**  
TO PREVENT SURFACE AND AIR MOVEMENT OF DUST FROM DISTURBED SOIL SURFACES THAT MAY CAUSE OFF-SITE DAMAGE, HEALTH HAZARDS, AND TRAFFIC SAFETY PROBLEMS.

**CONDITIONS WHERE PRACTICE APPLIES:**  
ON CONSTRUCTION ROADS, ACCESS POINTS, AND OTHER DISTURBED AREAS SUBJECT TO SURFACE DUST MOVEMENT AND DUST BLOWING WHERE OFF-SITE DAMAGE MAY OCCUR IF DUST IS NOT CONTROLLED.

**DESIGN CRITERIA:**  
CONSTRUCTION OPERATIONS SHOULD BE SCHEDULED TO MINIMIZE THE AMOUNT OF AREA DISTURBED AT ONE TIME. BUFFER AREAS OF VEGETATION SHOULD BE LEFT WHERE PRACTICAL. TEMPORARY OR PERMANENT STABILIZATION MEASURES SHALL BE INSTALLED. NO SPECIFIC DESIGN CRITERIA IS GIVEN; SEE CONSTRUCTION SPECIFICATIONS BELOW FOR COMMON METHODS OF DUST CONTROL.

WATER QUALITY SHOULD BE CONSIDERED WHEN MATERIALS ARE SELECTED FOR DUST CONTROL, WHERE THERE IS A POTENTIAL FOR THE MATERIAL TO WASH OFF TO A STREAM. INGREDIENT INFORMATION MUST BE PROVIDED TO THE NYSDEC. NO POLYMER APPLICATION SHALL TAKE PLACE WITHOUT WRITTEN APPROVAL FROM THE NYSDEC.

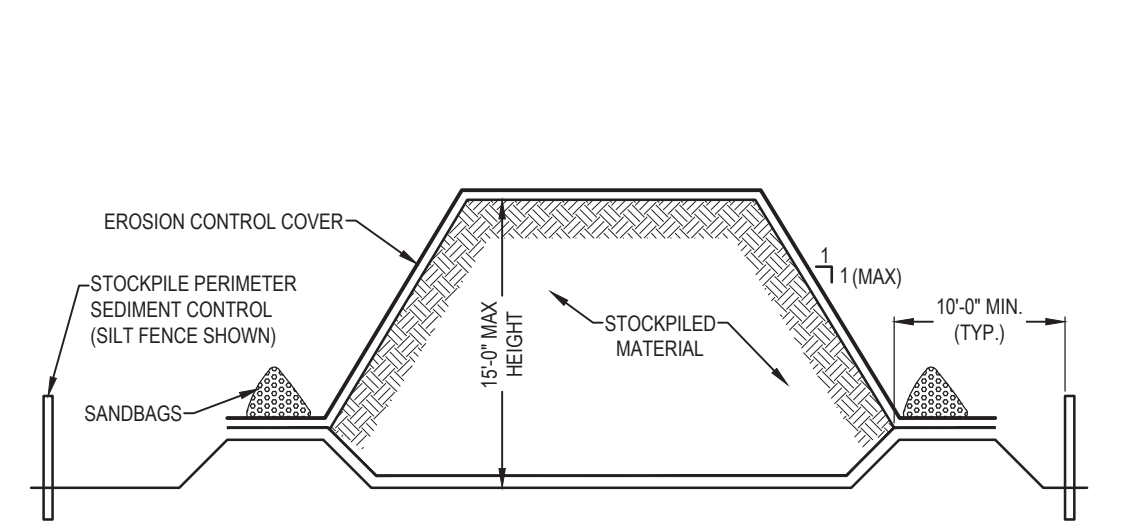
**CONSTRUCTION SPECIFICATIONS:**  
A. NON-DRIVING AREAS:  
VEGETATIVE COVER - TEMPORARY SEEDING SHALL BE AS FOLLOWS:  
1. RYE GRASS (ANNUAL OR PERENNIAL) AT 30 LBS. PER ACRE (0.7 LBS/1000SF)  
2. CERTIFIED "AROOOSTOOK" WINTER RYE (CEREAL RYE) AT 100 LBS. PER ACRE (2.5 LBS/SF)  
3. USE WINTER RYE IF SEEDING IN OCTOBER/NOVEMBER  
MULCH (INCLUDING GRASS MULCH) - MULCH OFFERS A FAST EFFECTIVE MEANS OF CONTROLLING DUST.  
SPRAY ADHESIVES - EXAMPLES OF SPRAY ADHESIVES FOR USE ON MINERAL SOILS ARE SHOWN IN THE FOLLOWING TABLE:

MATERIAL	WATER DILUTION	NOZZLE TYPE	APPLY GALLONS/ACRE
ACRYLIC POLYMER	8:1	COURSE SPRAY	500
LATEX EMULSION	12.5:1	FINE SPRAY	235
RESIN IN WATER	4:1	FINE SPRAY	300

B. DRIVING AREAS:  
SPRINKLING - THE SITE MAY BE SPRAYED UNTIL THE SURFACE IS WET. THIS IS ESPECIALLY EFFECTIVE ON HAUL ROADS AND ACCESS ROUTES TO PROVIDE SHORT TERM LIMITED DUST CONTROL.  
POLYMER ADHESIVES - POLYMERS ARE MIXED WITH WATER AND APPLIED TO THE DRIVING SURFACE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATION.  
BARRIERS - WOVEN GEO-TEXTILES CAN BE PLACED ON THE DRIVING SURFACE. STONE CAN ALSO BE USED FOR CONSTRUCTION ROADS.  
WINDBREAK - A SILT FENCE OR SIMILAR BARRIER CAN CONTROL AIR CURRENTS AT INTERVALS EQUAL TO TEN TIMES THE BARRIER HEIGHT. PRESERVE EXISTING WIND BARRIER VEGETATION AS MUCH AS PRACTICAL.

**MAINTENANCE:**  
MAINTAIN DUST CONTROL MEASURES THROUGH DRY WEATHER PERIODS UNTIL ALL DISTURBED AREAS ARE STABILIZED.

**DUST CONTROL**  
N.T.S.

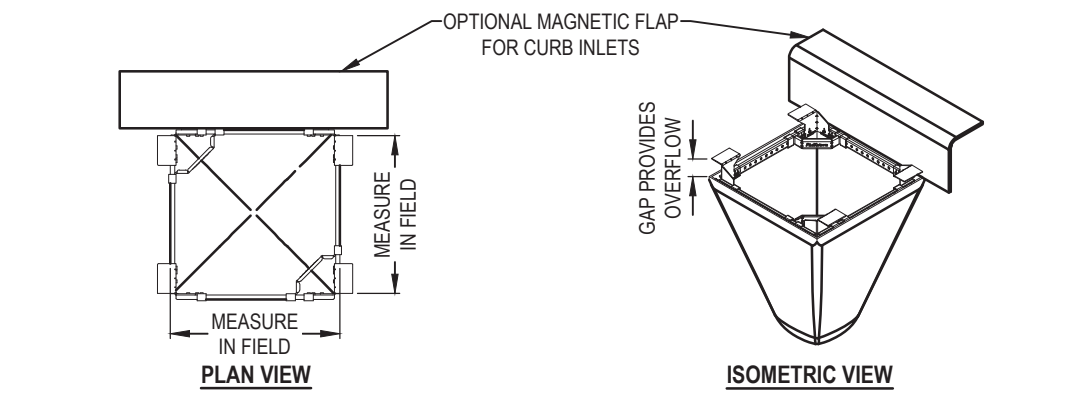


**STOCKPILE NOTES:**  
1. STOCKPILE MANAGEMENT INCLUDES MEASURES TO MINIMIZE EROSION AND SEDIMENT TRANSPORT FROM SOILS OR OTHER ERODIBLE MATERIALS STORED AT THE CONSTRUCTION SITE. SPECIAL ATTENTION SHOULD BE GIVEN TO STOCKPILES IN CLOSE PROXIMITY TO NATURAL OR MANMADE STORM SYSTEMS. PROTECTION OF STOCKPILES IS A YEAR-ROUND REQUIREMENT.  
2. THIS DETAIL DOES NOT APPLY TO CONTAMINATED MATERIALS WHICH REQUIRE ADDITIONAL MEASURES.  
3. LOCATE STOCKPILES AS FAR AWAY FROM BODIES OF WATER, INFILTRATION AREAS, INLETS, AND OTHER DRAINAGE SYSTEM COMPONENTS AS POSSIBLE SO AS NOT TO OBSTRUCT NATURAL DRAINAGE OR CAUSE OFF-SITE ENVIRONMENTAL DAMAGE.  
4. WEEDS SHOULD NOT BE ALLOWED TO GROW ON STOCKPILES.  
5. WHEN THE STOCKPILE IS NO LONGER NEEDED, PROPERLY DISPOSE OF EXCESS MATERIALS AND RE-VEGETATE OR OTHERWISE STABILIZE THE GROUND SURFACE WHERE THE STOCKPILE WAS LOCATED.  
6. FOR STOCKPILES MAINTAINED FOR MORE THAN ONE DAY, A SEDIMENT CONTROL SYSTEM, CONSISTING OF SILT FENCING OR CORR LOG, SHALL BE INSTALLED AND MAINTAINED ON DOWNHILL SIDES TO CONTAIN MATERIAL.  
6.1. FOR TEMPORARY STOCKPILES ON THE INTERIOR PORTION OF A CONSTRUCTION SITE, WHERE OTHER DOWN-GRADIENT CONTROLS, INCLUDING PERIMETER CONTROL, ARE IN PLACE, STOCKPILE PERIMETER CONTROLS MAY NOT BE REQUIRED.  
6.2. PROTECT ALL STOCKPILES FROM STORMWATER RUN-ON.  
6.3. FOR STOCKPILES IN ACTIVE USE, PROVIDE A STABILIZED DESIGNATED ACCESS POINT ON THE UPGRADIENT SIDE OF THE STOCKPILE.  
6.4. SEDIMENTS SHALL BE REMOVED WHEN SEDIMENT ACCUMULATION REACHES ONE-THIRD (1/3) OF THE BARRIER HEIGHT.  
6.5. INSPECT STOCKPILE SEDIMENT CONTROL SYSTEM IMMEDIATELY AFTER MODIFYING STOCKPILE.  
6.6. REPAIR AND/OR REPLACE PERIMETER CONTROLS AND COVERS AS NEEDED, OR AS DIRECTED BY THE ENGINEER, TO KEEP THEM FUNCTIONING PROPERLY.  
7. FOR STOCKPILES INACTIVE FOR MORE THAN 14 DAYS, STABILIZE THE STOCKPILE TO PREVENT SEDIMENT TRANSPORT USING AN EROSION CONTROL SYSTEM, CONSISTING OF TEMPORARY SEEDING AND MULCHING, PLASTIC / GEOTEXTILE COVERING, SOIL BINDERS, OR EROSION CONTROL BLANKETS. USE OF MULCH OR SOIL BINDERS ONLY IS ACCEPTABLE IF THE STOCKPILE WILL BE IN PLACE FOR NO MORE THAN 60 DAYS.  
8. IMPLEMENT DUST CONTROL PRACTICES AS APPROPRIATE ON ALL STOCKPILED MATERIAL.

**CONSTRUCTION PERMIT PAPERWORK STORAGE**  
N.T.S.

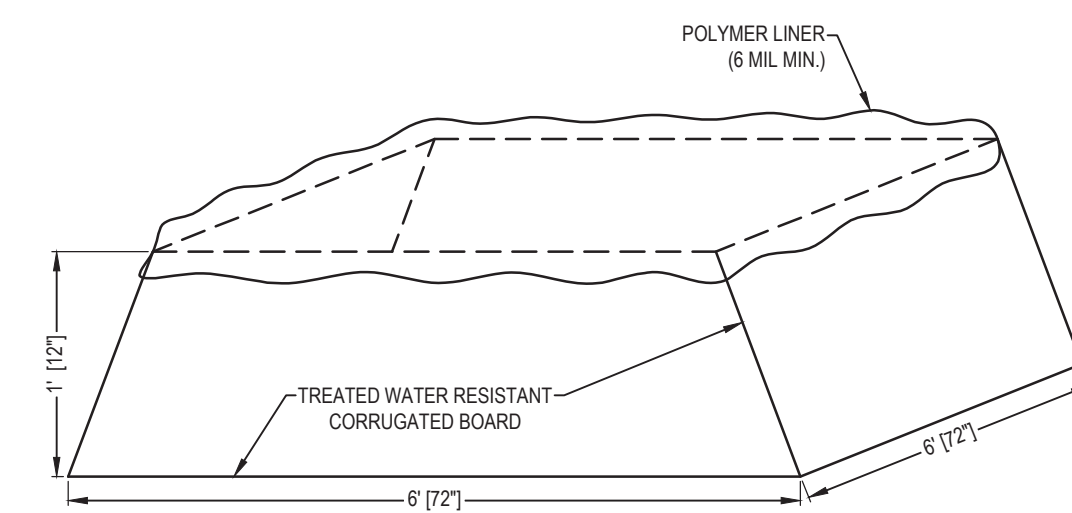
**CONSTRUCTION PERMIT PAPERWORK STORAGE**  
N.T.S.

**CONSTRUCTION PERMIT PAPERWORK STORAGE**  
N.T.S.



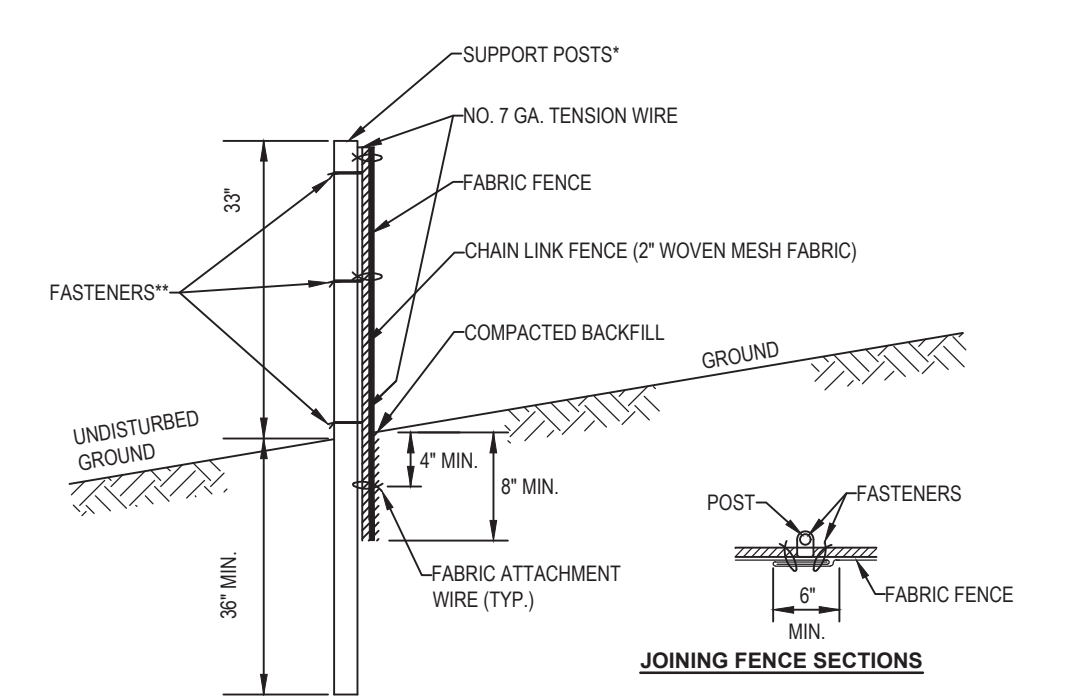
**NOTES:**  
1. CONTRACTOR TO PROVIDE IN-FIELD MEASUREMENTS TO MANUFACTURER AS REQUIRED TO MANUFACTURER.  
2. THE FOLLOWING REQUIRES ADDITIONAL REVIEW BY MANUFACTURER:  
- GRATES WITH EXTENDED BOTTOMS  
- ANY OBSTRUCTED INLET OPENINGS  
3. OR EQUAL AS APPROVED BY ENGINEER OF RECORD.  
4. AVAILABLE FOR CIRCULAR, RECTANGULAR, AND WITH OR WITHOUT MAGNETIC FLAP FOR CURB OPENING.

**TYPE V EXAMPLE - SACK INLET PROTECTION**  
N.T.S.



**CONCRETE WASHOUT NOTES:**  
1. THE CONCRETE WASHOUT(S) SHALL BE INSTALLED PRIOR TO THE DELIVERY OR PLACEMENT OF CONCRETE.  
2. WHEN DEEMED NECESSARY BY THE ENGINEER THE CONTRACTOR SHALL PLACE SIGNS THROUGHOUT THE SITE TO INDICATE THE LOCATION OF THE CONCRETE WASHOUT(S).  
3. THE CONCRETE WASHOUT AREA SHALL BE REPLACED AS NECESSARY AND/OR ABOVE TO MAINTAIN CAPACITY FOR LIQUID WASTE.  
4. CONCRETE WASHOUT RESIDUE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT AN APPROVED FACILITY.  
5. UNDER NO CIRCUMSTANCES ARE DRAINAGE STRUCTURES, OPEN DITCHES, STREETS, OR STREAMS TO BE USED FOR CONCRETE WASHOUT LOCATIONS.  
6. LOCATE CONCRETE WASHOUT AT LEAST 50' FROM ALL DRAINAGE FACILITIES, OPEN DITCHES, AND OTHER WATER BODIES.  
7. THE CONCRETE WASHOUT SHALL BE USED FOR THE WASHING OF PORTLAND CEMENT CONCRETE RELATED ITEMS (TRANSIT-MIX TRUCKS, TOOLS, MIXERS, ETC.) ONLY.

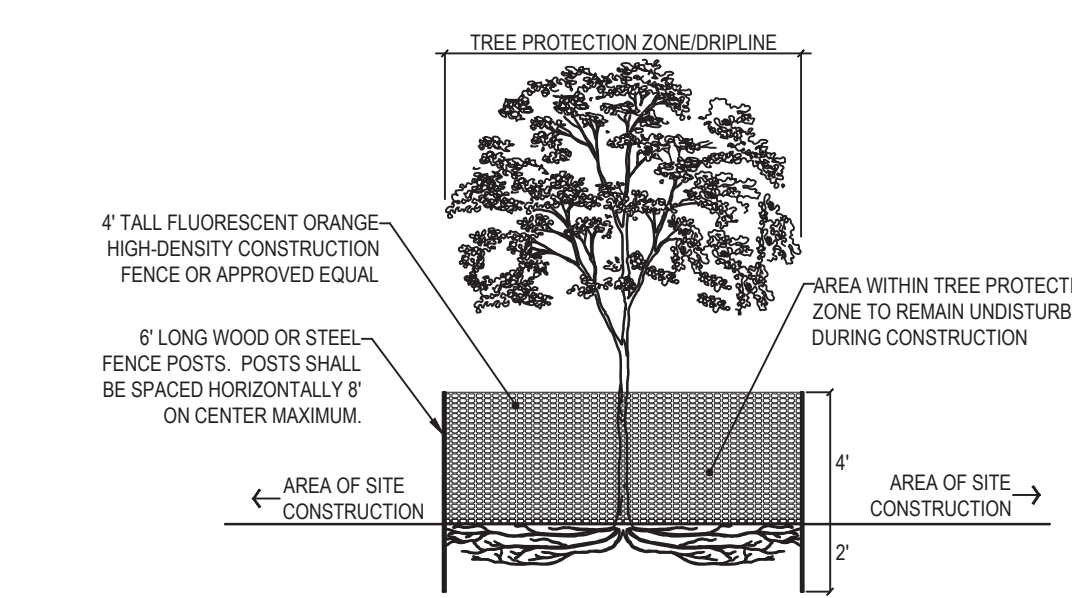
**CONCRETE TRUCK/MIXER WASHOUT AND GROUT WASTE**  
ITEM 209.06  
N.T.S.



\* POSTS SPACED @ 10' MAX. USE 2 1/2" DIA. GALVANIZED OR ALUMINUM POSTS.  
\*\* CHAIN LINK TO POST FASTENERS SPACED @ 14" MAX. USE NO. 6 GA. ALUMINUM WIRE OR NO. 9 GALVANIZED STEEL PRE-FORMED CLIPS. CHAIN LINK TO TENSION WIRE FASTENERS SPACED @ 60" MAX. USE NO. 10 GA. GALVANIZED STEEL WIRE. FABRIC TO CHAIN FASTENERS SPACED @ 24" MAX. C TO C.

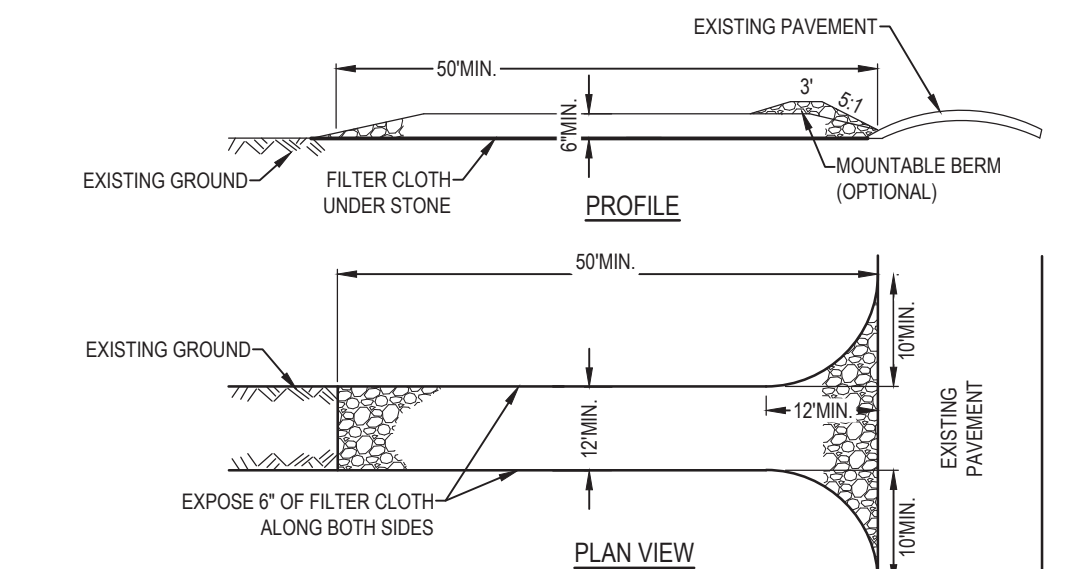
**SUPER SILT FENCE NOTES:**  
1. NO. 7 GA. TENSION WIRE INSTALLED HORIZONTALLY AT TOP AND BOTTOM OF CHAIN-LINK FENCE.  
2. FENCE MUST BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER MUST BE EXTENDED AT LEAST 8 FEET UPSLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT.  
3. FABRIC ATTACHMENT WIRES SHALL BE PLACED ABOVE 17" ABOVE GRADE AND BELOW 4" BELOW GRADE.

**NOTES FOR ALL TYPES OF SILT FENCE:**  
1. PLACE SILT FENCE AT LOCATIONS AS SHOWN ON PLANS AS WELL AS DETAILS.  
2. SILT FENCE SHALL BE INSTALLED SO WATER CANNOT BYPASS THE FENCE AROUND THE ENDS.  
3. SILT FENCE SHALL REMAIN IN PLACE FOR THE DURATION OF THE PROJECT UNLESS OTHERWISE DIRECTED BY THE GOVERNING AGENCY.  
4. DO NOT PLACE MATERIAL AGAINST SILT FENCE.  
5. INSPECT SILT FENCE IMMEDIATELY AFTER PLACING ANY MATERIAL NEARBY.  
6. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY.



**TREE PROTECTION FENCE NOTES:**  
1. TREE PROTECTION FENCE SHALL BE INSTALLED TO FOLLOW TREE CANOPY DRIP LINE OR PROPOSED LIMITS OF DISTURBANCE.  
2. CONSTRUCTION VEHICLES TO STAY AS FAR AS POSSIBLE FROM TREE PROTECTION FENCE TO PREVENT COMPACTION OF TREE ROOTS.

**TREE PROTECTION FENCE**  
N.T.S.



**STABILIZED CONSTRUCTION ACCESS NOTES:**  
1. STONE SIZE - USE 1.4 INCH STONE.  
2. LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).  
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.  
4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.  
5. GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.  
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ACCESS SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED. THIS AREA SHALL BE GRADED SO THAT RUNOFF WATER WILL BE RETAINED ON SITE.  
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.  
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.  
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.  
10. CONTRACTOR TO ENSURE THAT THE TRACKING PREVENTION REMAINS EFFECTIVE DURING ALL CONSTRUCTION PHASES.  
11. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING STORM DRAINS, DITCHES, OR WATERCOURSES.  
12. CONTRACTOR TO RELOCATE TRACKING PADS AS NECESSARY.  
13. EXPOSE 6" END OF FILTER CLOTH ON BOTH OF THE LONGER SIDES FOR THE ENTIRE LENGTH.

**STABILIZED CONSTRUCTION ACCESS**  
N.T.S.



PROJECT DATA	
APPLICANT/TOWNER	3 LOCUST AVENUE LLC 42 AQUEDUCT ROAD CORTLANDT MANOR, NY 10524
TAX MAP NUMBER	Sec.34.5, Block 2, Lot 6
SITE AREA	OVERALL AREA = 110,078.59 SF (2.527 Acres) DISTRICT BOUNDARY AREA = 65,899.39 SF (1.513 Acres)
CURRENT USE	CON ED TRAINING CENTER
PROPOSED USE	SELF-STORAGE FACILITY
EXISTING FOOTPRINT	5,786 SF
PROPOSED FOOTPRINT	15,000 SF
GROSS FLOOR AREA	CELLAR 15,000 SF ENTRY LEVEL 15,000 SF SECOND LEVEL 15,000 SF THIRD LEVEL 15,000 SF FOURTH LEVEL 15,000 SF TOTAL 75,000 SF

NO.	DATE	BY	DESCRIPTION
8	09/24/24	JK	REV. PER TOWN COMMENTS
7	08/06/24	JR	UPDATED PER SWPPP
6	08/22/24	JR	SHEET UNAFFECTED
5	08/06/24	JR	REV. PER TOWN COMMENTS
4	06/20/24	JR	REV. PER TOWN COMMENTS
3	06/03/24	JR	REV. PER TOWN COMMENTS
2	05/01/24	JR	REV. PER ATTORNEY COMMENTS
1	04/15/24	JR	REVISE BULK TABLE

**REVISIONS**

**KEY CIVIL ENGINEERING**  
664 BLUE POINT ROAD, UNIT B  
HOLTSVILLE, NEW YORK 11742  
(831) 961-0806  
www.KeyCivilEngineering.com

**PROPOSED SELF-STORAGE FACILITY**  
3 LOCUST AVENUE  
CORTLANDT MANOR, NY 10567  
COUNTY OF WESTCHESTER  
SECT.: 34.5, BLOCK: 2, LOT: 6

**SOIL EROSION & SEDIMENT CONTROL DETAILS**

DATE: 03/22/2024  
SCALE: N.T.S.  
PROJECT NUMBER: 24001  
DRAWING BY: JR  
CHECKED BY: JF  
APPROVED BY: MP

SEAL & SIGNATURE:  
MARC PILOTTA, P.E.  
NEW YORK STATE PROFESSIONAL ENGINEER #081598

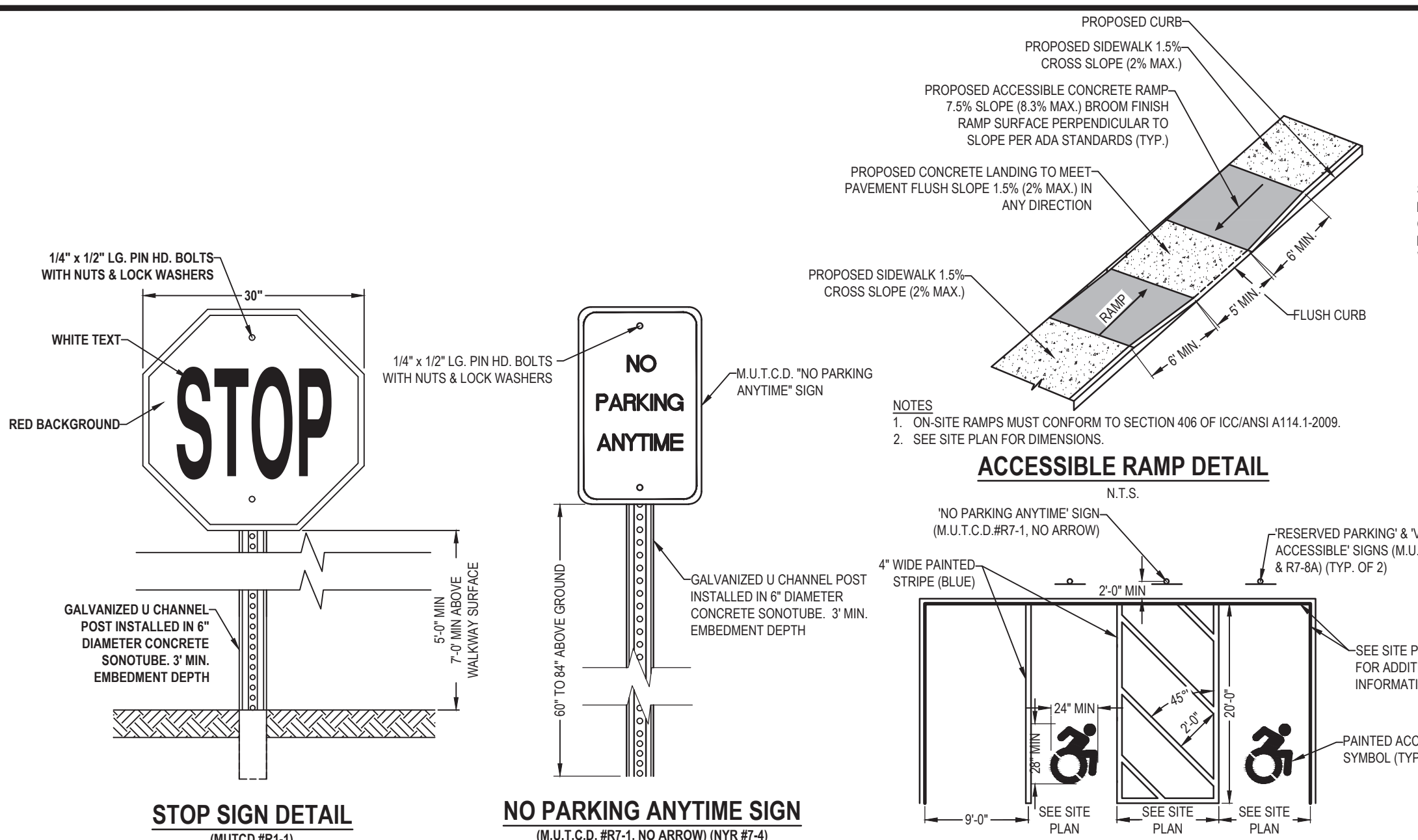
ALTERNATION OR ADDITION TO THIS DOCUMENT EXCEPT BY A LICENSED PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 2008, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.

DRAWING No.: C-8  
PAGE No.: 9 OF 11

**Dig Safely. New York**  
800-962-7962  
www.digsafelynewyork.com

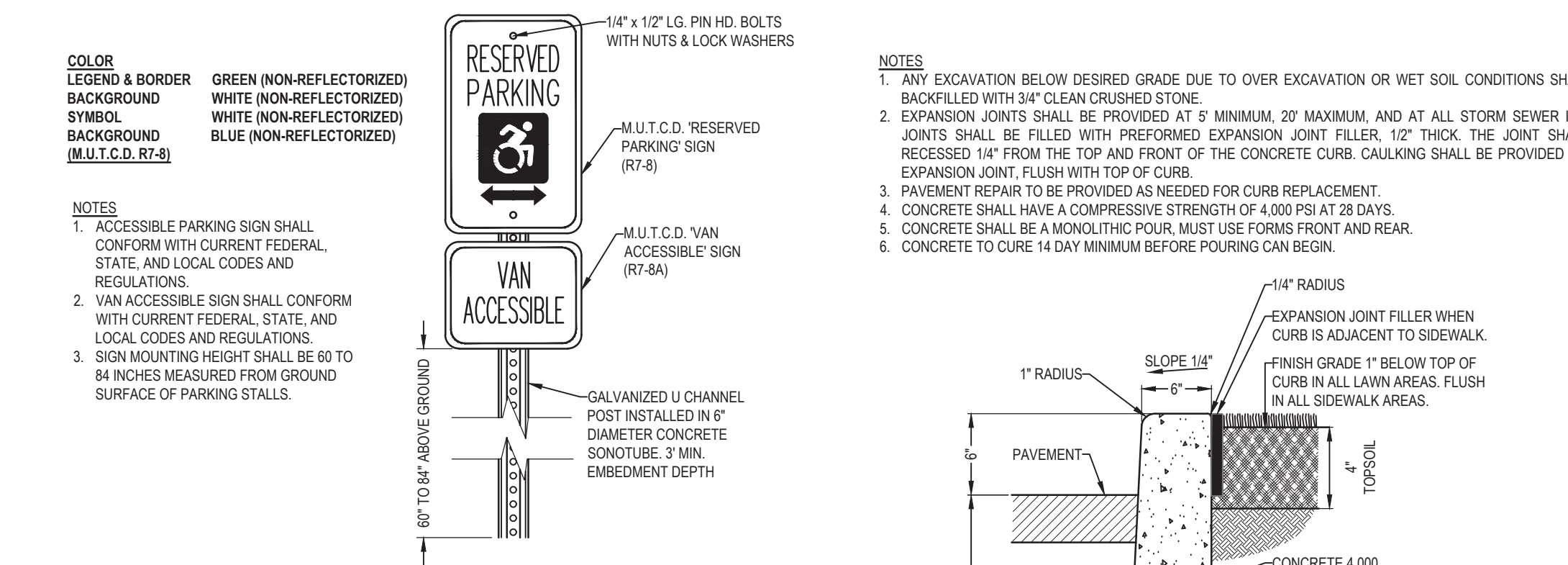
Call Before You Dig  
Wait The Required Time  
Confirm Utility Response  
Respect the Marks  
Dig With Care



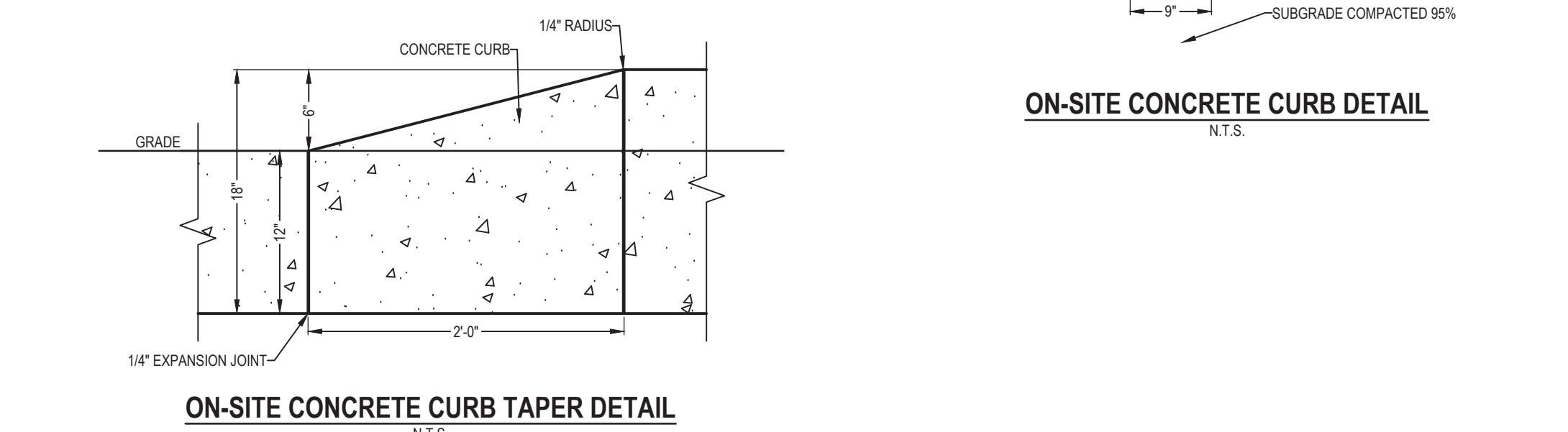


**STOP SIGN DETAIL**  
(M.U.T.C.D. #R1-1)  
N.T.S.

**NO PARKING ANYTIME SIGN**  
(M.U.T.C.D. #R7-1, NO ARROW) (NYR #7-4)  
N.T.S.



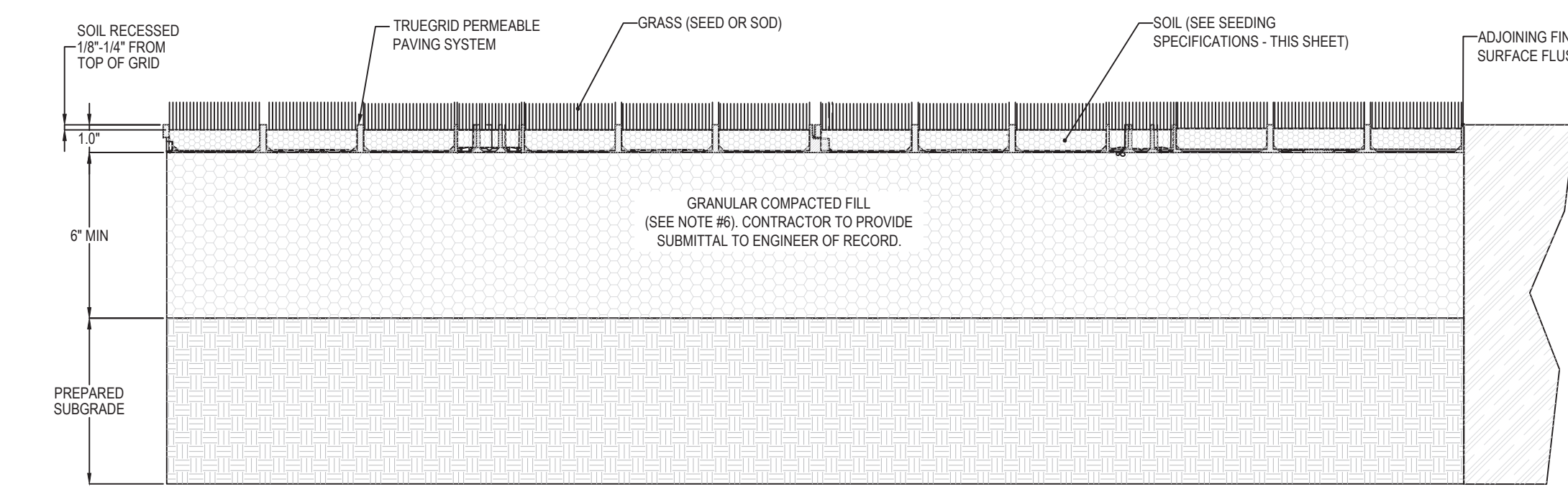
**PAINTED ACCESSIBLE & STANDARD STRIPING AREA DETAIL**  
N.T.S.



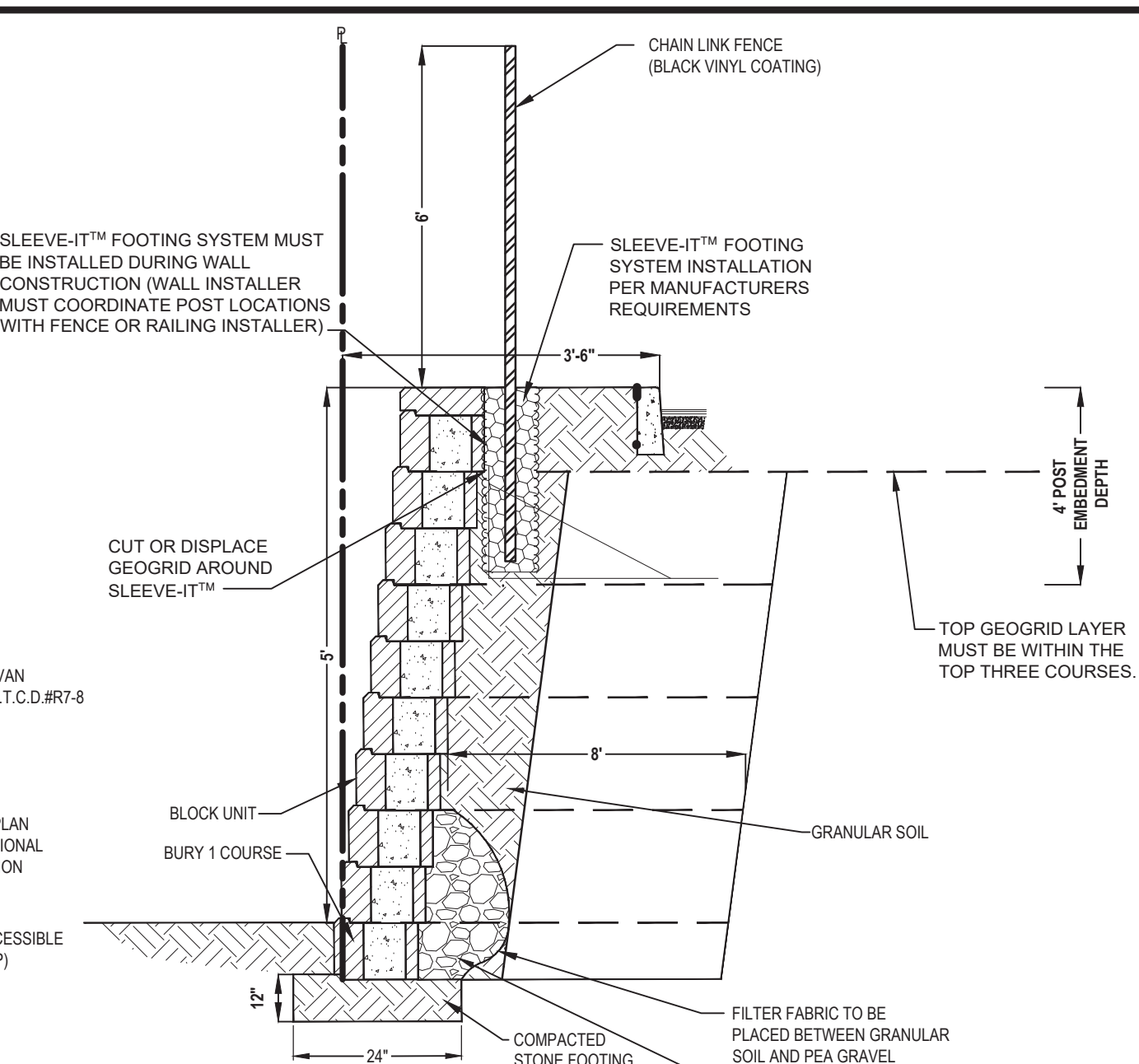
**ON-SITE CONCRETE CURB TAPER DETAIL**  
N.T.S.

- NOTES:**
- TYPICAL SEEDING OR HYDROSEEDING METHODS FOR GRASS GROWTH ARE ACCEPTABLE WITH TRUEGRID.
  - SOD CAN BE LAID ON SOIL FILLED GRID FOR IMMEDIATE GRASS (TYPICAL FOR FIRE LANES).
  - TRUEGRID PRO LITE PRODUCTS ARE SUFFICIENTLY RATED FOR LOW TRAFFIC H-20HS-20 LOADING.
  - NO STAKING TYPICALLY NECESSARY WITH TRUEGRID PRO LITE WHEN SLOPE 20 DEGREES, ASSESS PROJECT AS NEEDED.
  - TRUEGRID PRO LITE IS ADA COMPLIANT WITH PROPER FILL MATERIAL.
  - COMPACTED GRANULAR FILL SHOULD CONSIST OF CLEAN, WELL-GRADED SAND AND GRAVEL, FREE OF ORGANIC MATERIAL, CLAY CLUMPS, SNOW, ICE, OR OTHER DELETERIOUS MATERIALS & SHOULD MEET THE FOLLOWING CRITERIA:

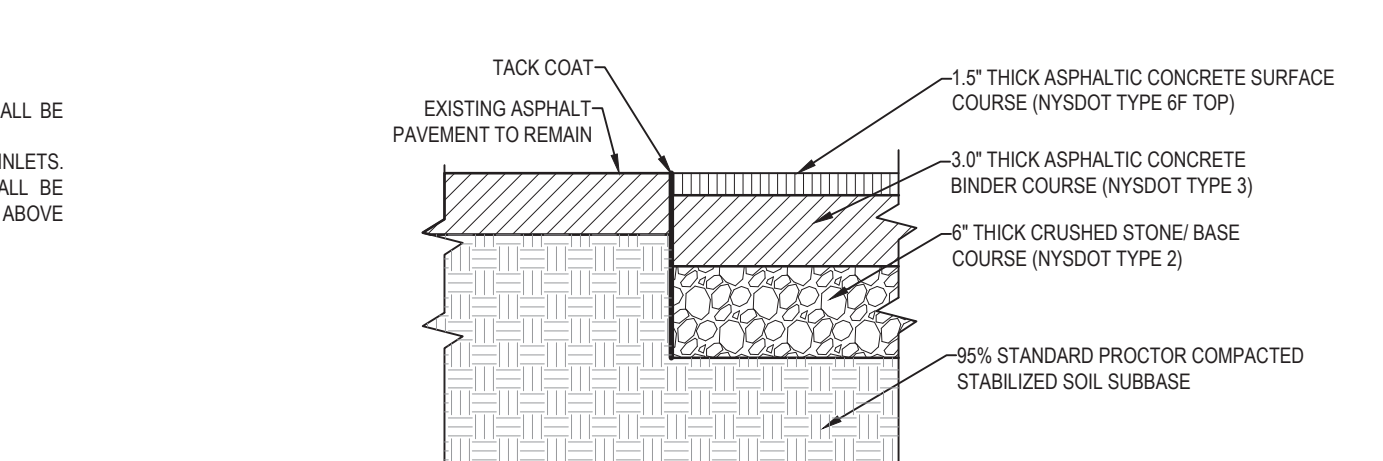
SEIVE SIZE	PERCENT FINER BY WEIGHT
3-IN	100
NO. 4	30-90
NO. 40	10-50
NO. 200	0-5



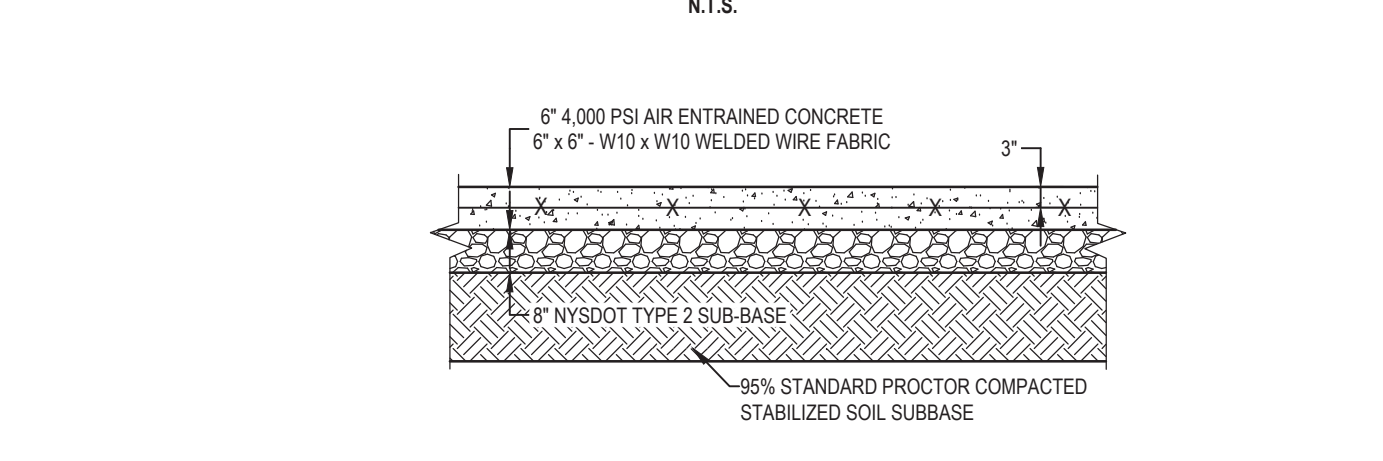
**TRUEGRID PRO-LITE DETAIL**  
N.T.S.



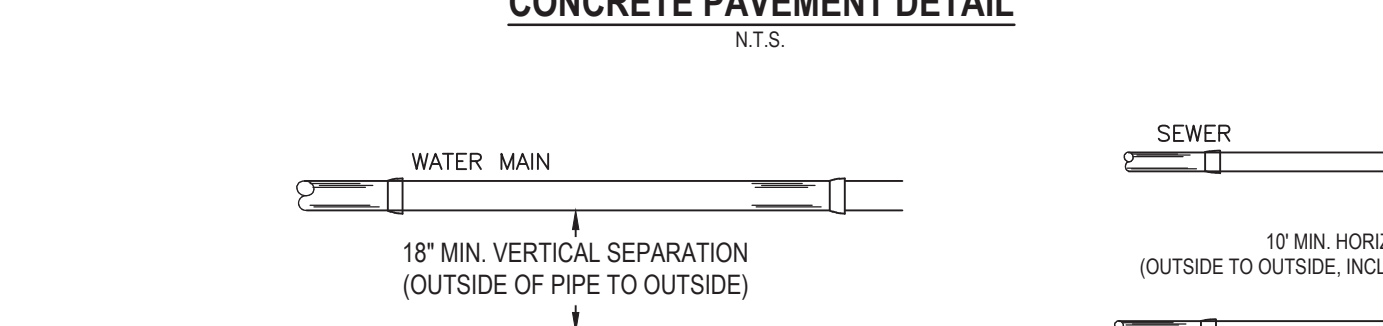
**SEGMENTAL WALL DETAIL**  
N.T.S.



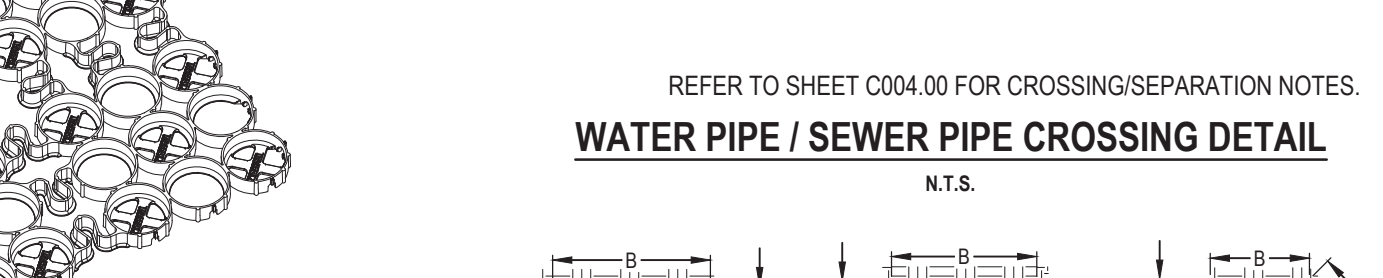
**STANDARD DUTY PAVEMENT SECTION**  
(FOR USE ON-SITE)  
N.T.S.



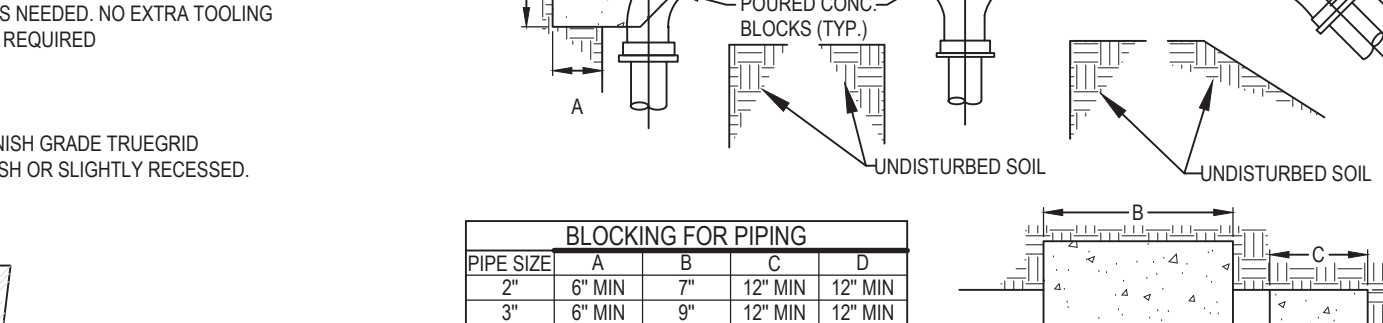
**CONCRETE PAVEMENT DETAIL**  
N.T.S.



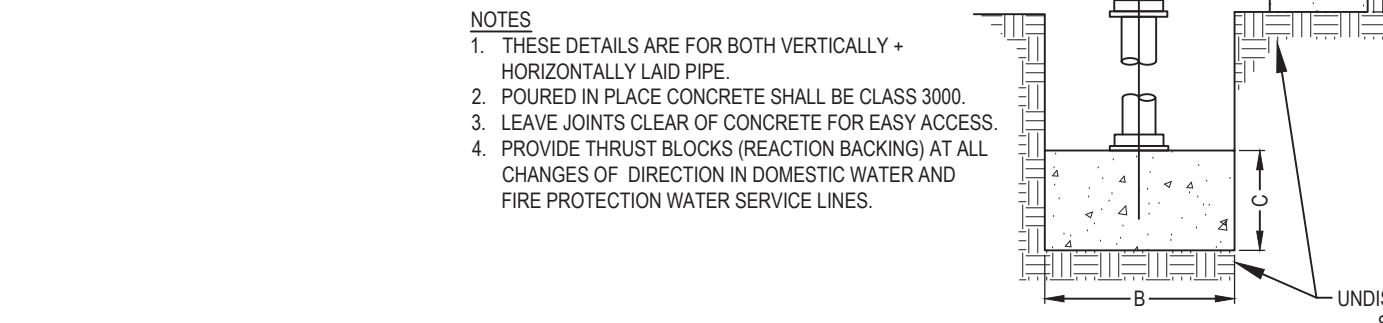
**CONCRETE SIDEWALK DETAIL**  
N.T.S.



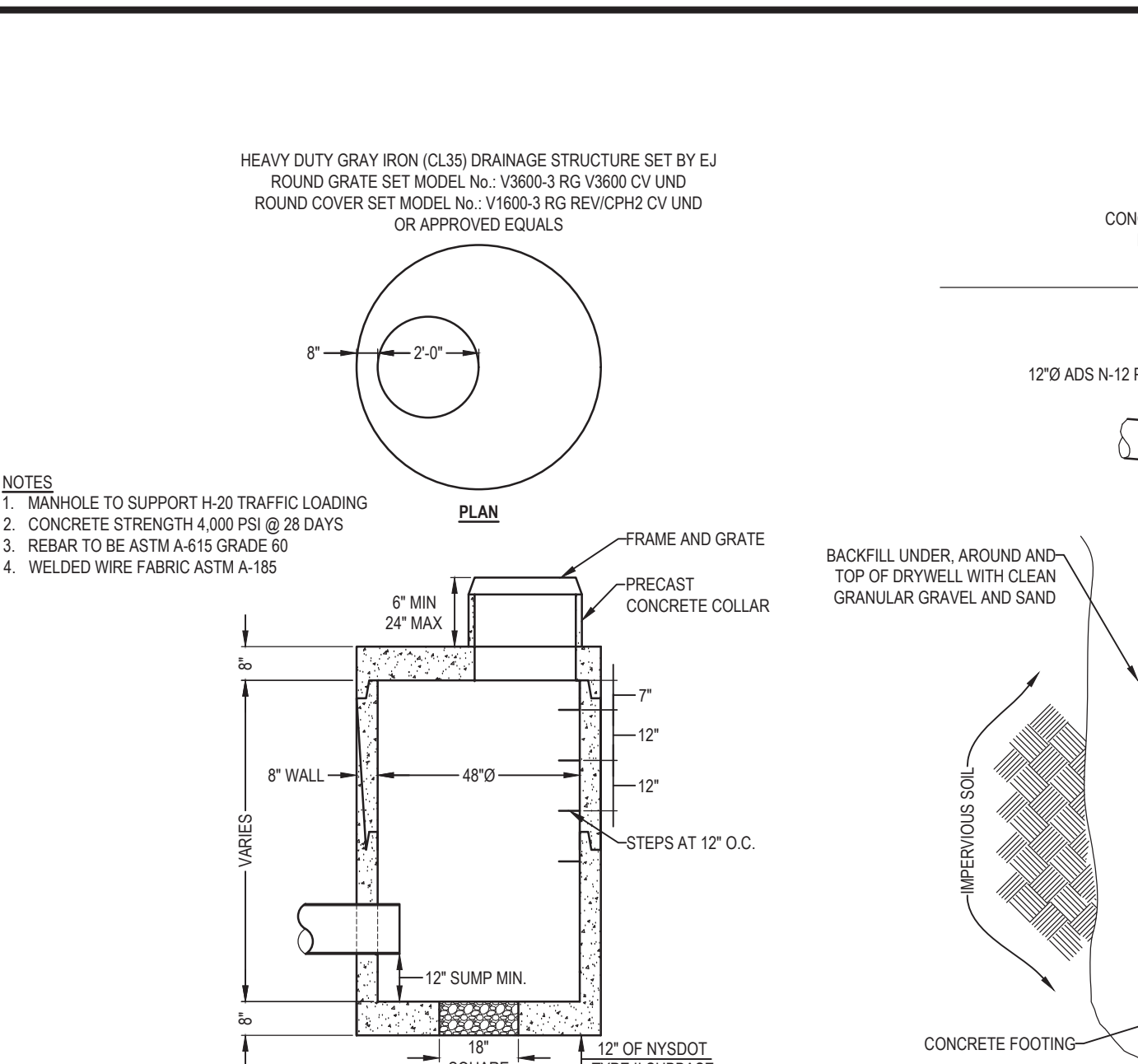
**WATER PIPE / SEWER PIPE CROSSING DETAIL**  
N.T.S.



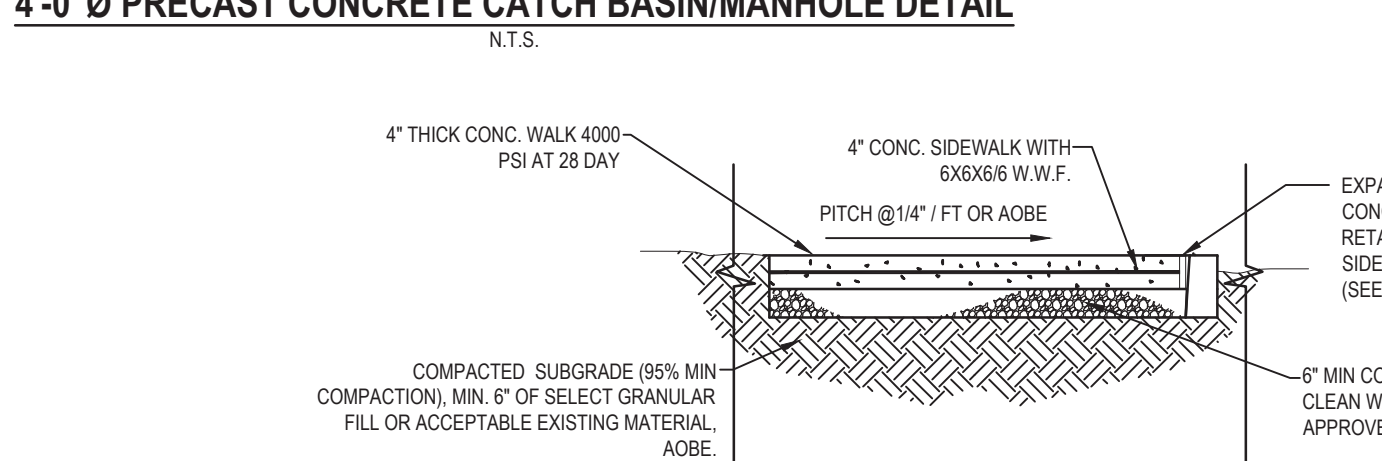
**THRUST BLOCK DETAIL**  
N.T.S.



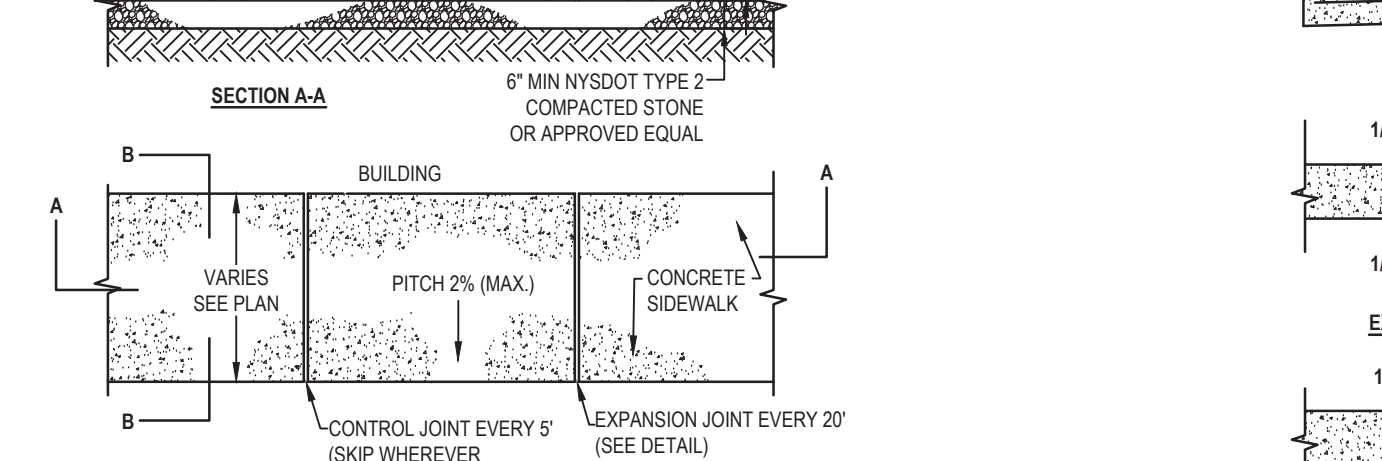
**STORMWATER / SANITARY PIPE INSTALLATION DETAIL**  
N.T.S.



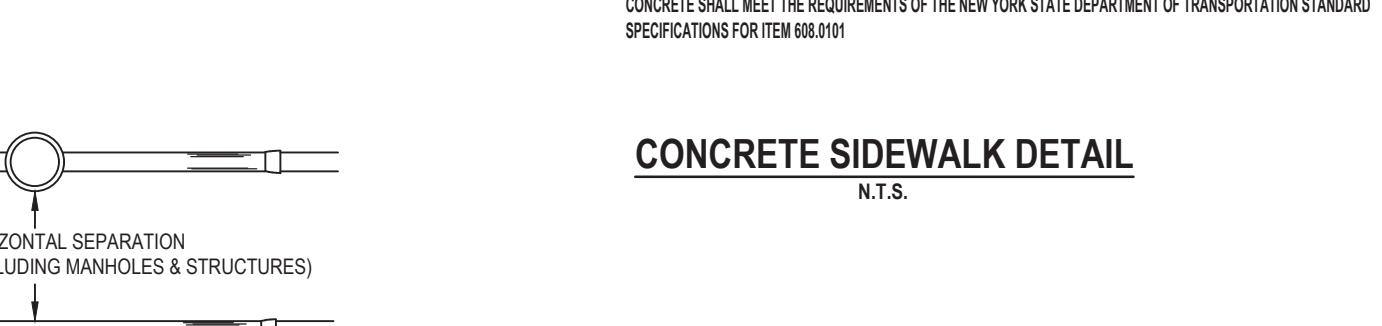
**4'-0\"/>**



**ON-SITE DRYWELL DETAIL**  
N.T.S.



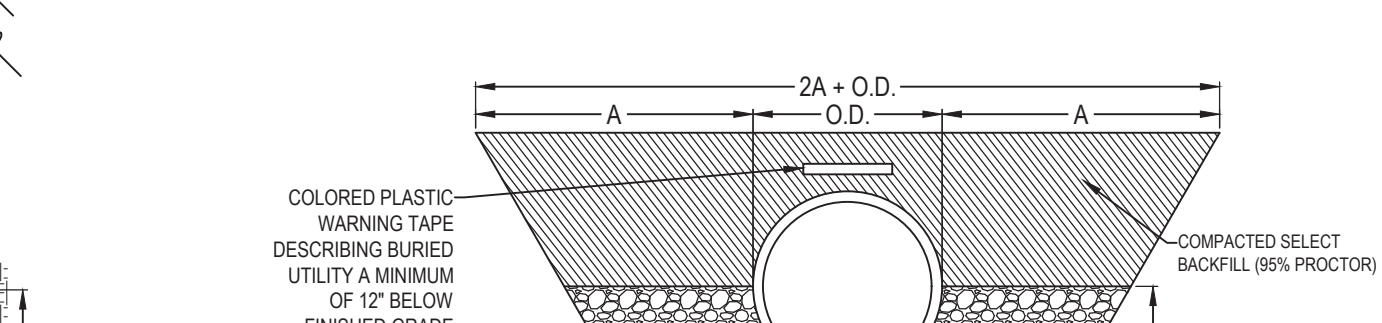
**TYPICAL BOLLARD DETAIL**  
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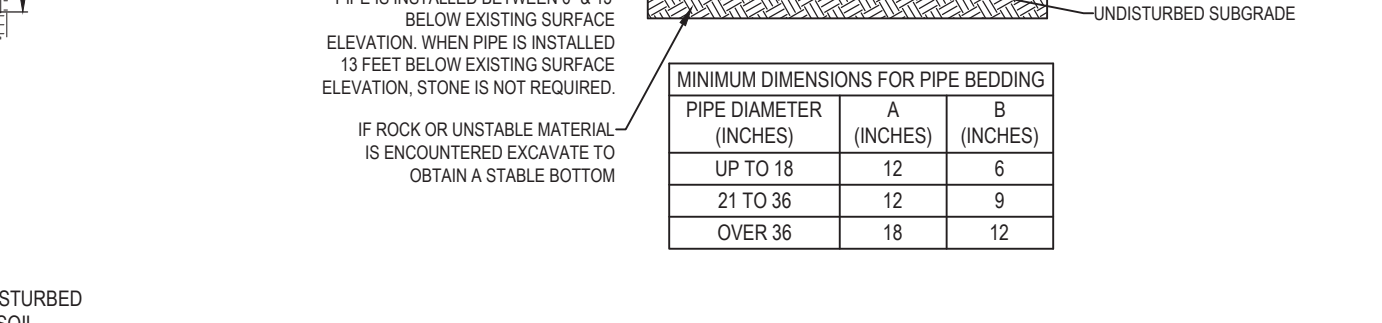
**CONCRETE SIDEWALK DETAIL**  
N.T.S.



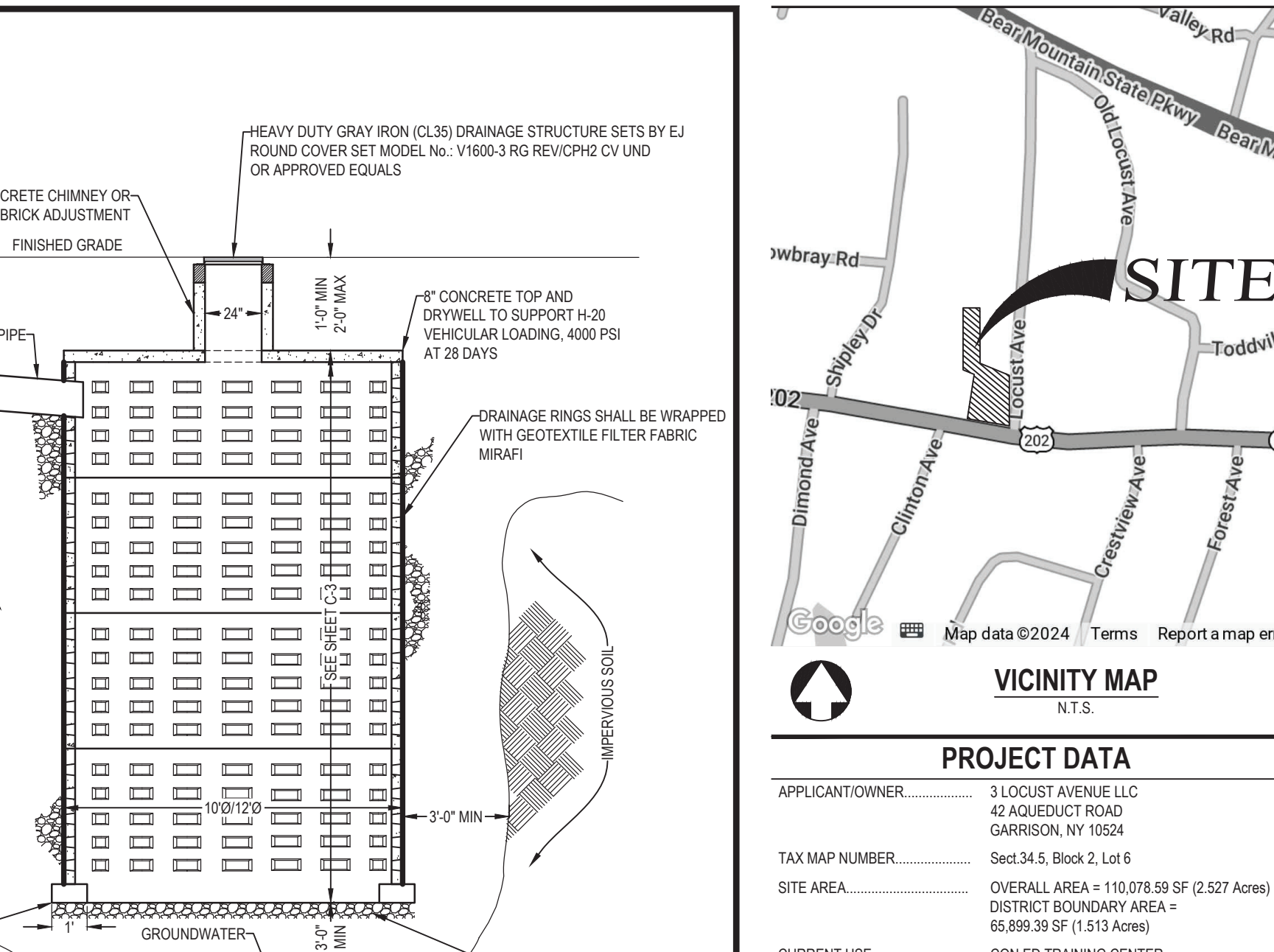
**WATER PIPE / SEWER PIPE CROSSING DETAIL**  
N.T.S.



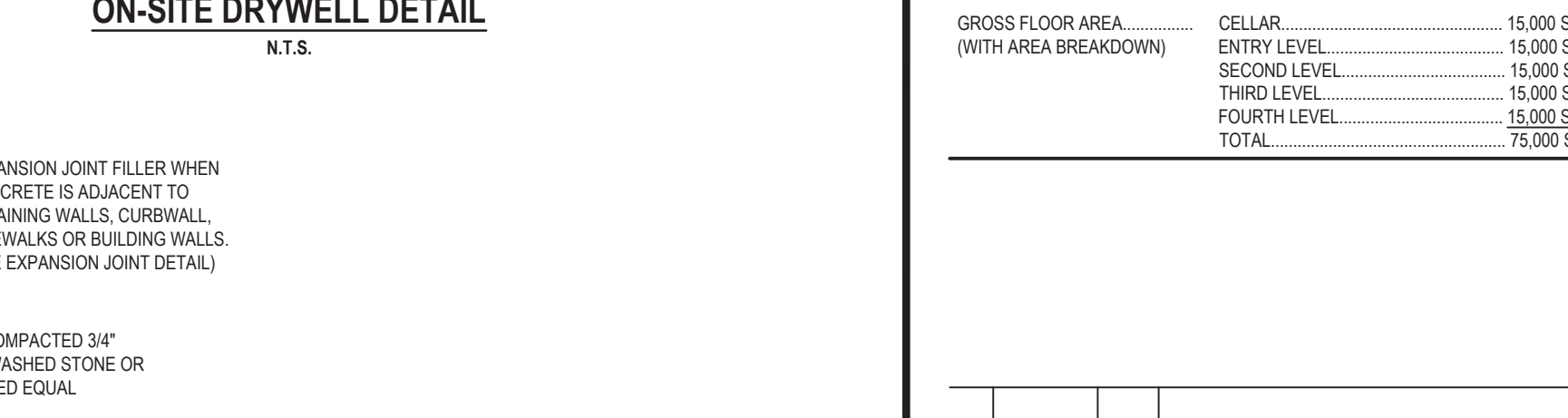
**THRUST BLOCK DETAIL**  
N.T.S.



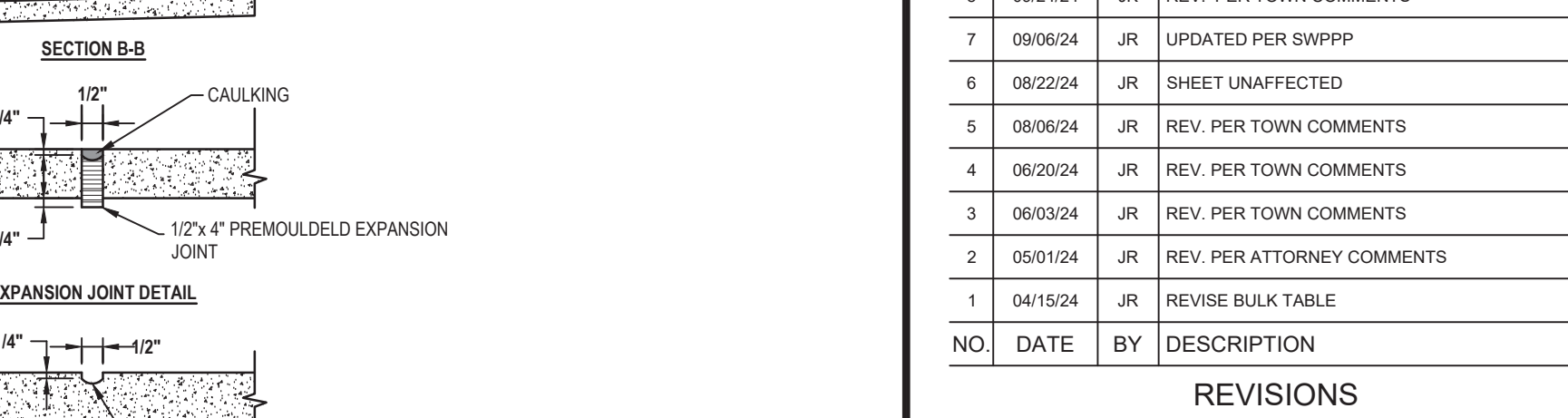
**STORMWATER / SANITARY PIPE INSTALLATION DETAIL**  
N.T.S.



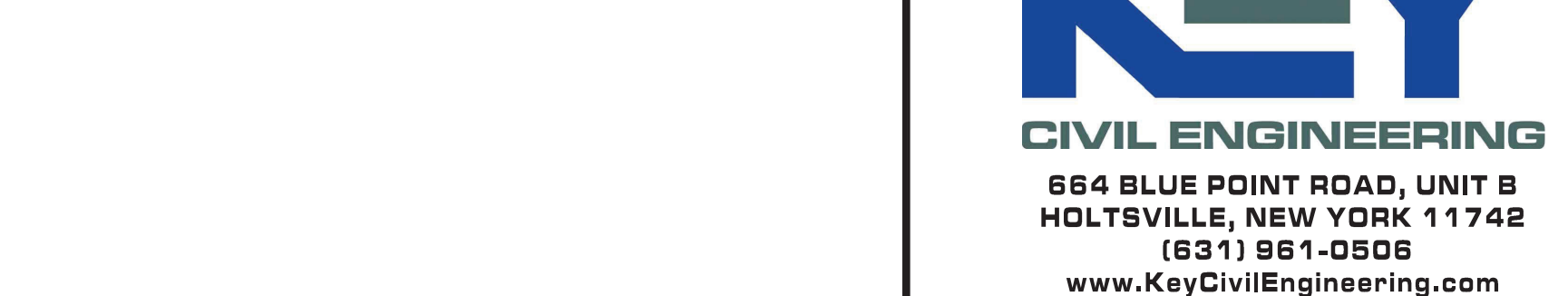
**ON-SITE DRYWELL DETAIL**  
N.T.S.



**TYPICAL BOLLARD DETAIL**  
N.T.S.



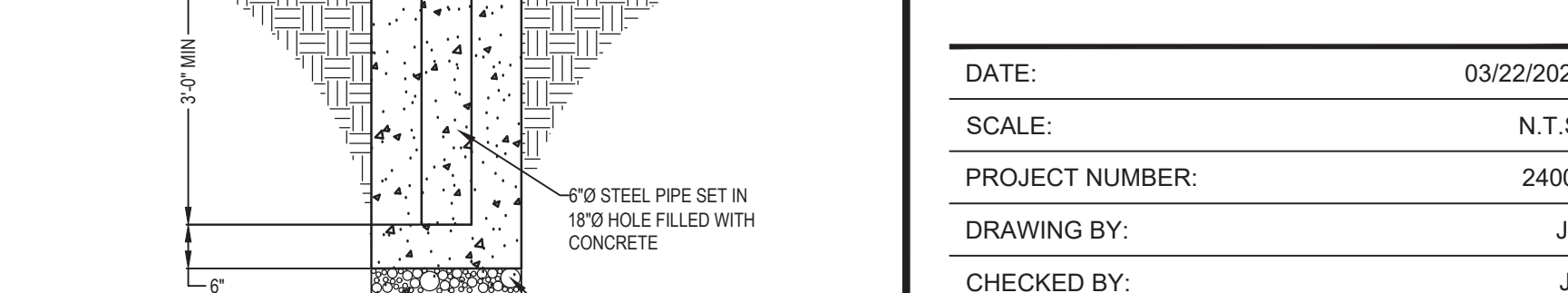
**CONCRETE SIDEWALK DETAIL**  
N.T.S.



**WATER PIPE / SEWER PIPE CROSSING DETAIL**  
N.T.S.



**THRUST BLOCK DETAIL**  
N.T.S.



**STORMWATER / SANITARY PIPE INSTALLATION DETAIL**  
N.T.S.



**VICINITY MAP**  
N.T.S.

**PROJECT DATA**

APPLICANT/TOWNER: 3 LOCUST AVENUE LLC  
42 ADJUNCT ROAD  
GARRISON, NY 10524

TAX MAP NUMBER: Sect.34.5, Block 2, Lot 6

SITE AREA: OVERALL AREA = 110,078.59 SF (2.527 Acres)  
DISTRICT BOUNDARY AREA = 65,899.39 SF (1.513 Acres)

CURRENT USE: CON ED TRAINING CENTER

PROPOSED USE: SELF-STORAGE FACILITY

EXISTING FOOTPRINT: 5,786 SF

PROPOSED FOOTPRINT: 15,000 SF

GROSS FLOOR AREA: CELLAR: 15,000 SF  
ENTRY LEVEL: 15,000 SF  
SECOND LEVEL: 15,000 SF  
THIRD LEVEL: 15,000 SF  
FOURTH LEVEL: 15,000 SF  
TOTAL: 75,000 SF

NO.	DATE	BY	DESCRIPTION
1	04/15/24	JR	REVISE BULK TABLE
2	05/01/24	JR	REV. PER ATTORNEY COMMENTS
3	06/03/24	JR	REV. PER TOWN COMMENTS
4	06/20/24	JR	REV. PER TOWN COMMENTS
5	08/06/24	JR	REV. PER TOWN COMMENTS
6	08/22/24	JR	SHEET UNAFFECTED
7	08/06/24	JR	UPDATED PER SWPPP
8	09/24/24	JK	REV. PER TOWN COMMENTS

**REVISIONS**

**KEY CIVIL ENGINEERING**  
664 BLUE POINT ROAD, UNIT B  
HOLTSVILLE, NEW YORK 11742  
(831) 961-0506  
www.KeyCivilEngineering.com

**PROJECT NAME**  
**PROPOSED SELF-STORAGE FACILITY**  
3 LOCUST AVENUE  
CORTLANDT MANOR, NY 10567  
COUNTY OF WESTCHESTER  
SECT.: 34.5, BLOCK: 2, LOT: 6

**DRAWING TITLE**

**DETAIL SHEET I**

DATE: 03/22/2024  
SCALE: N.T.S.  
PROJECT NUMBER: 24001  
DRAWING BY: JR  
CHECKED BY: JF  
APPROVED BY: MP

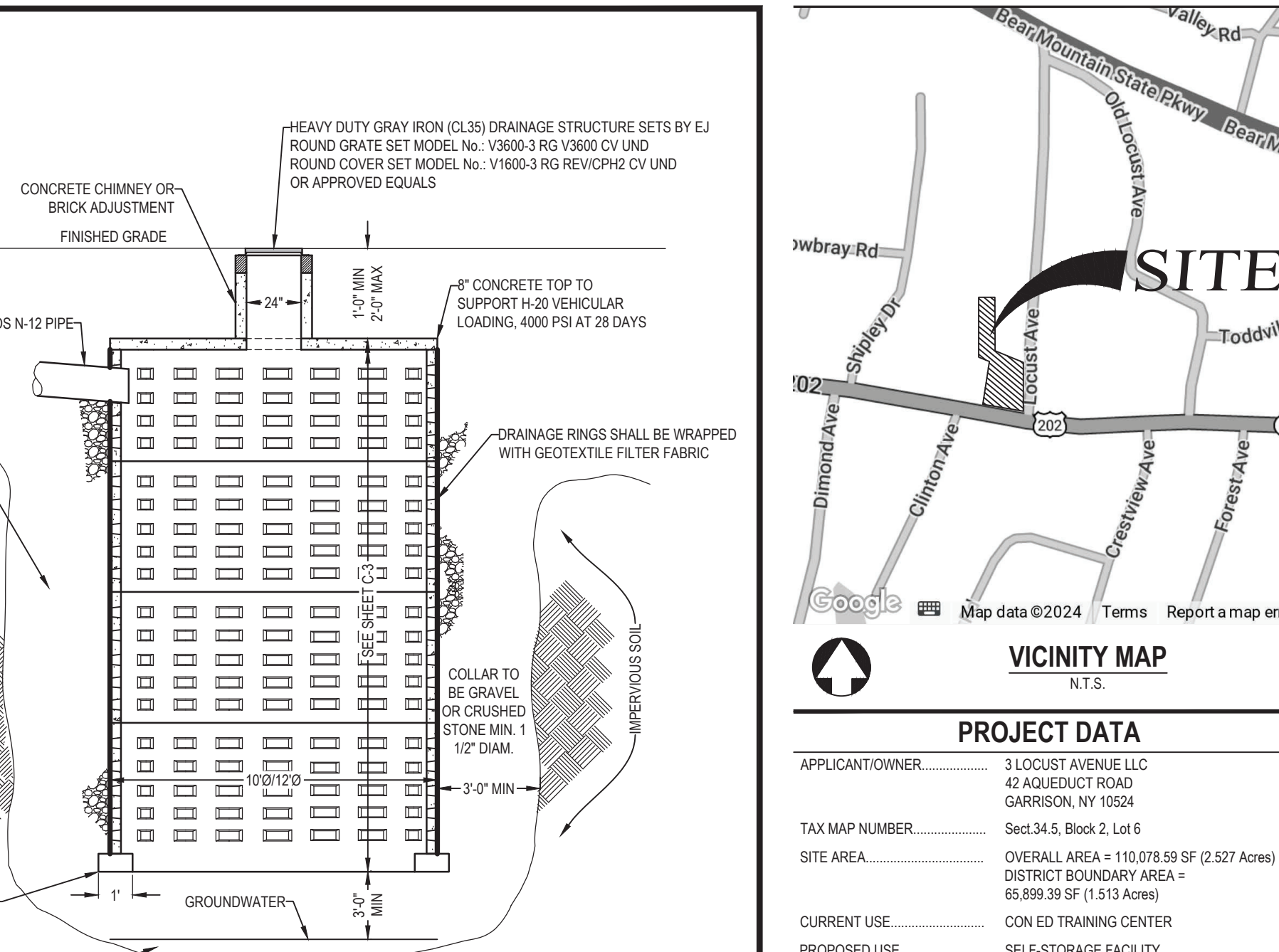
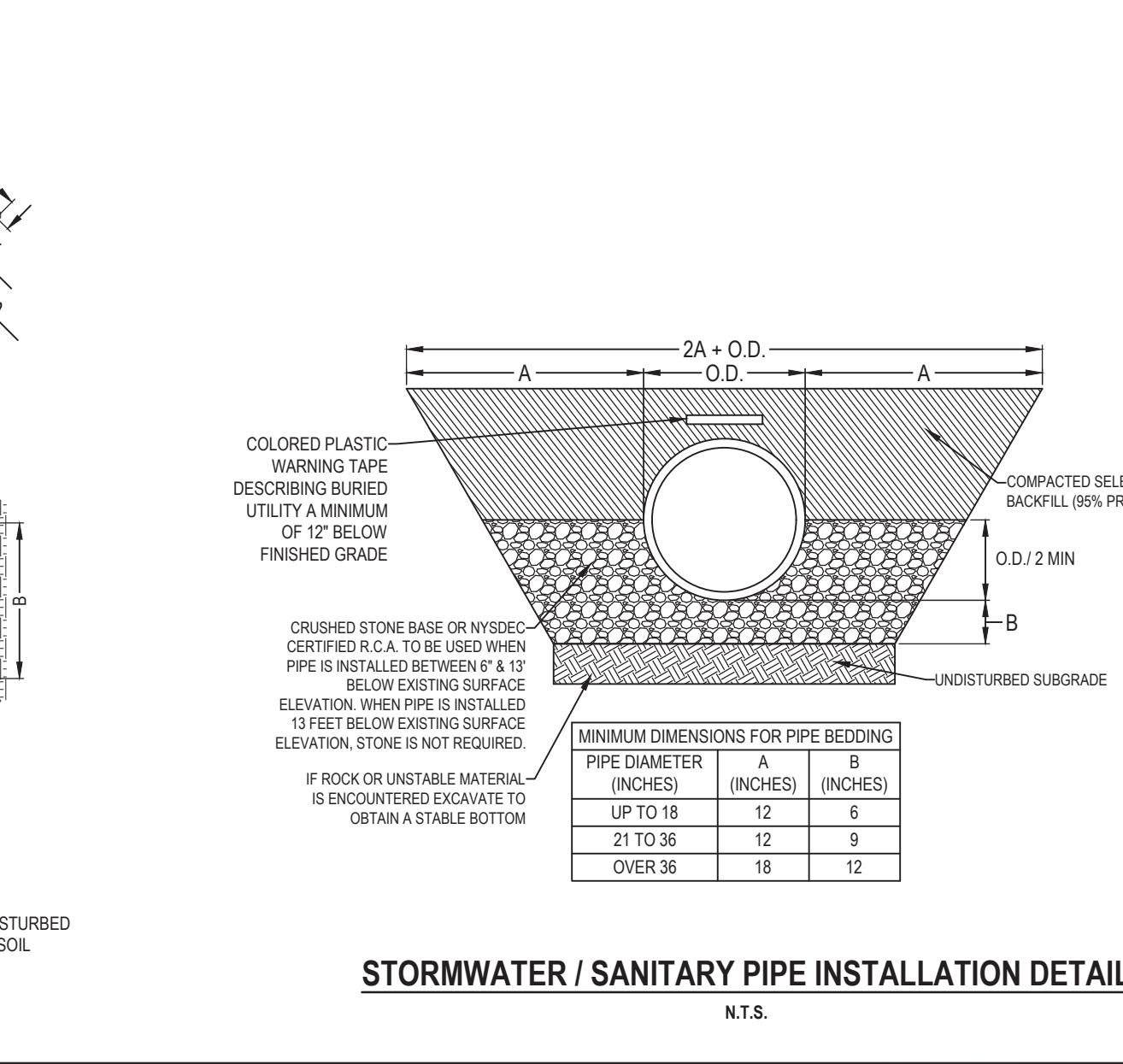
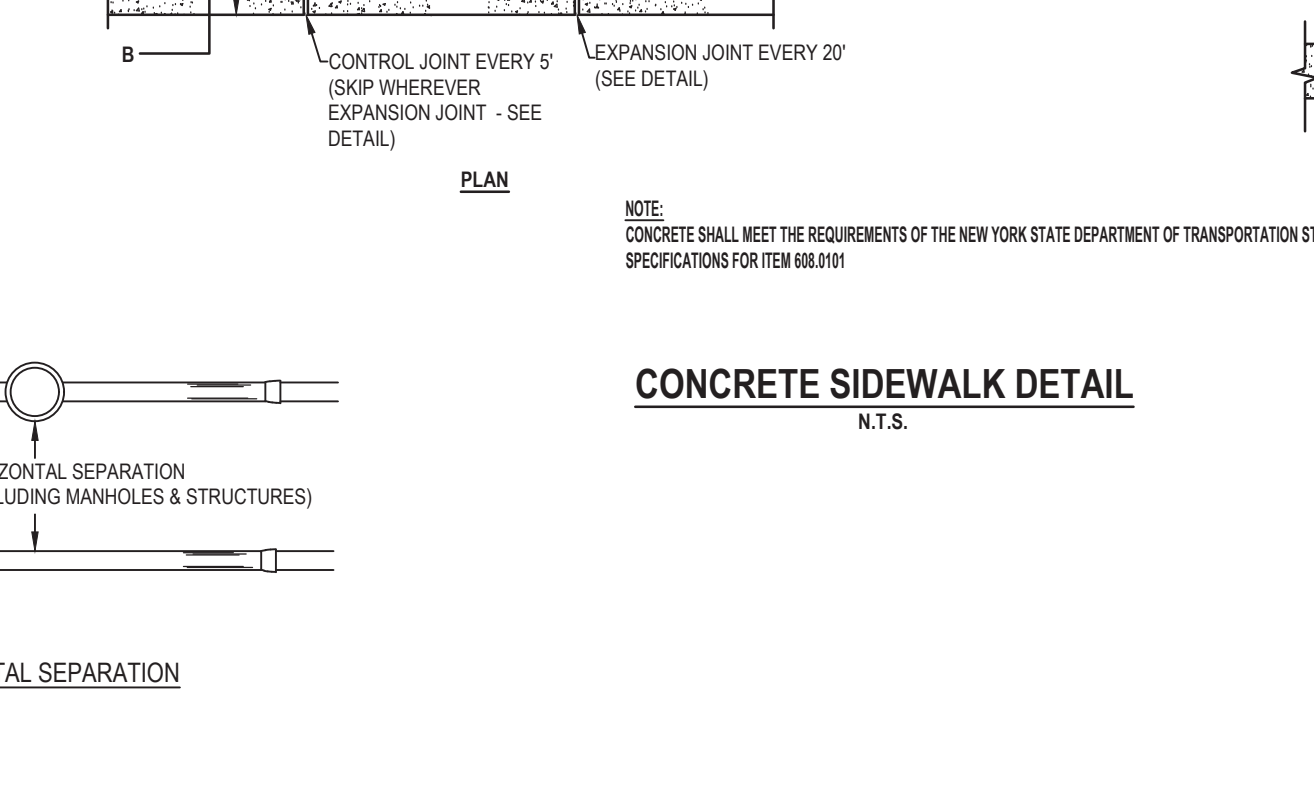
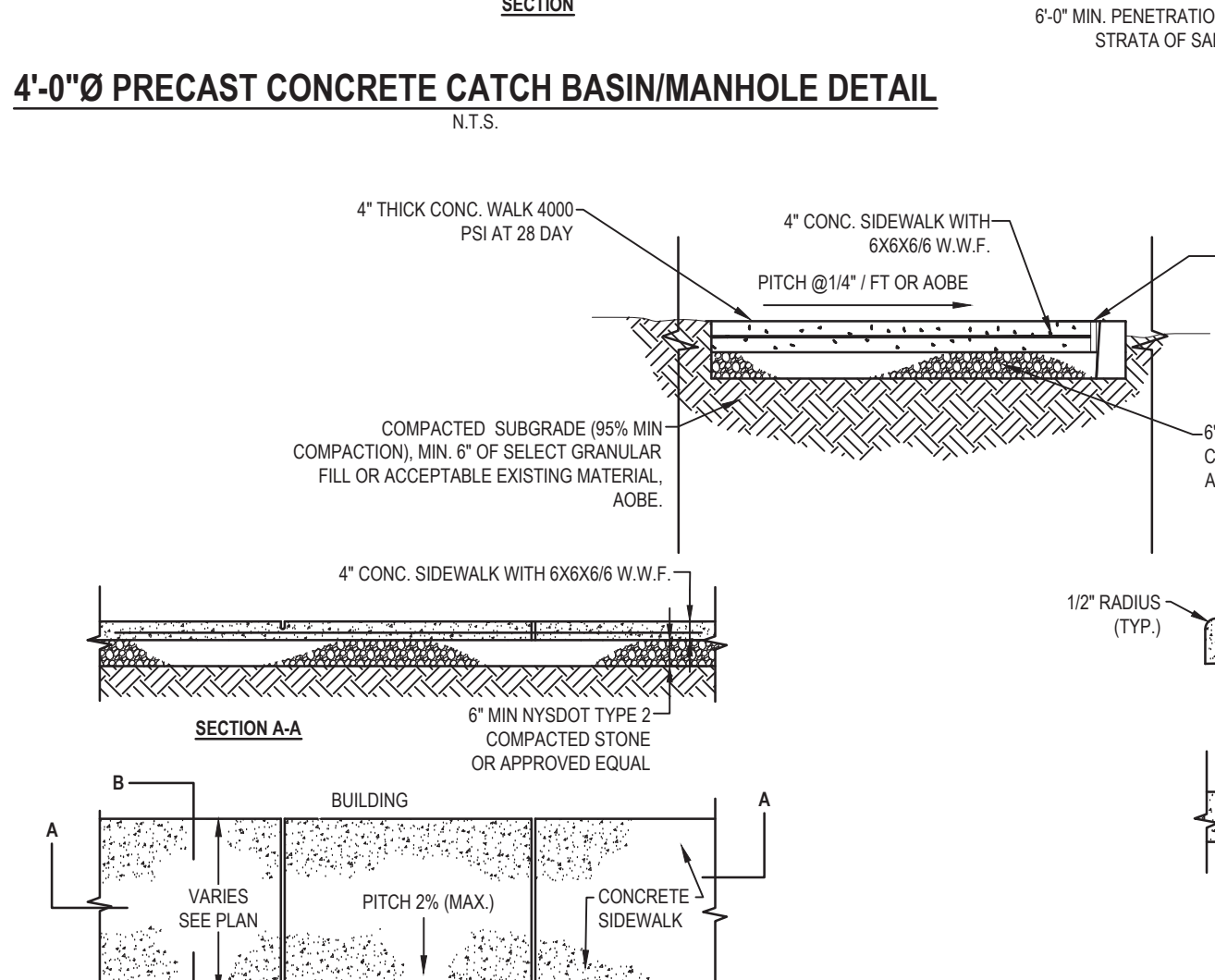
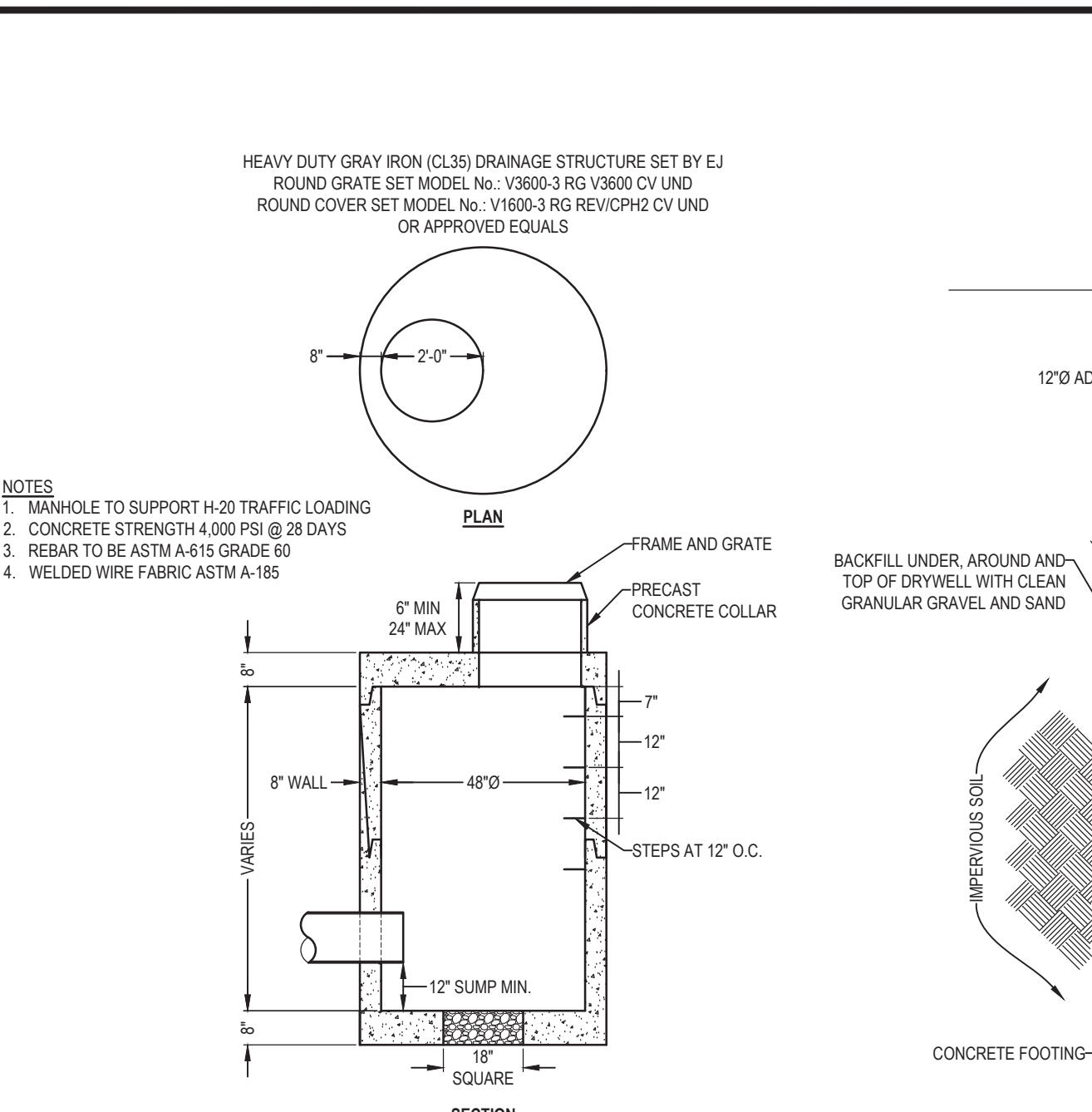
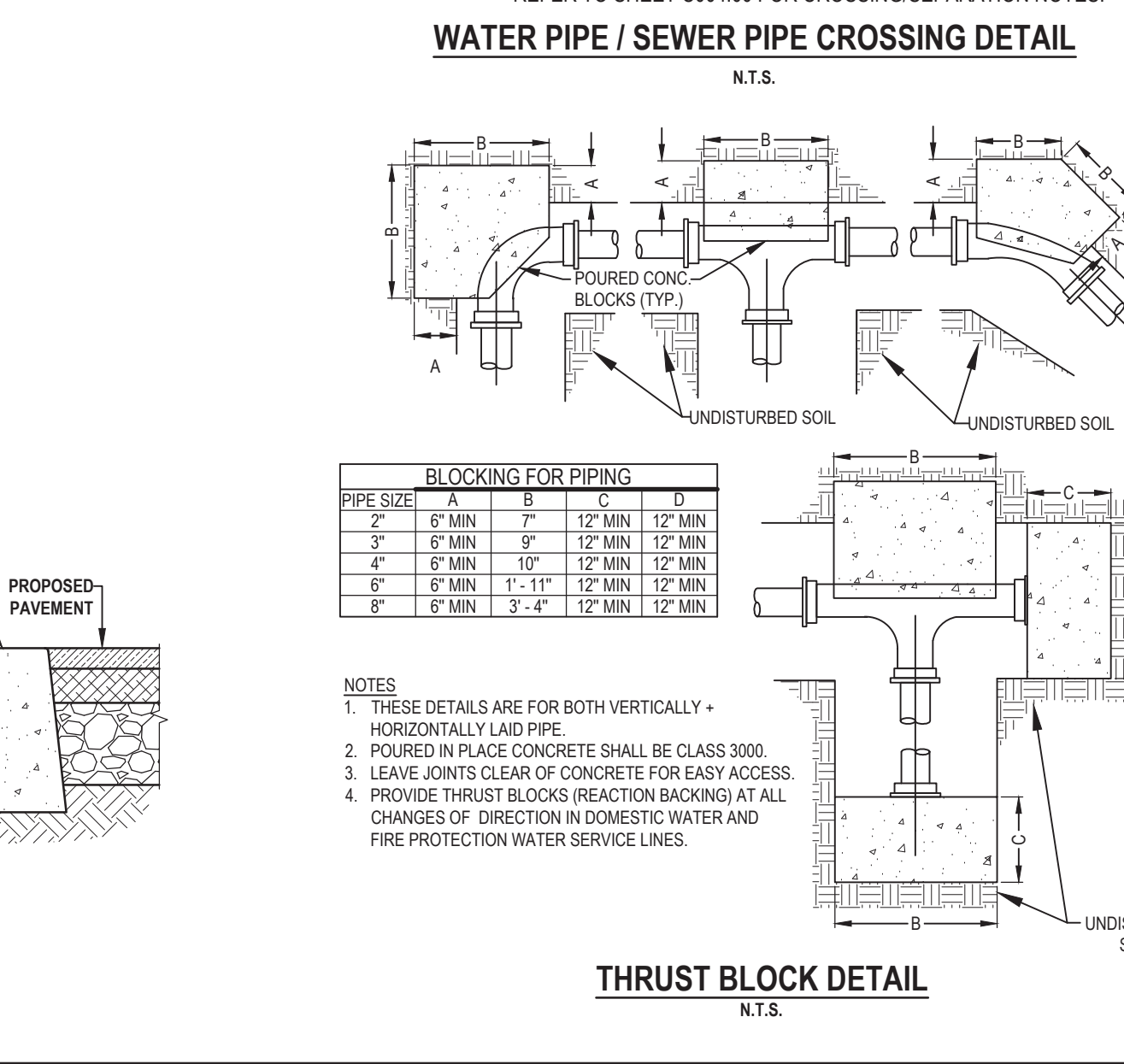
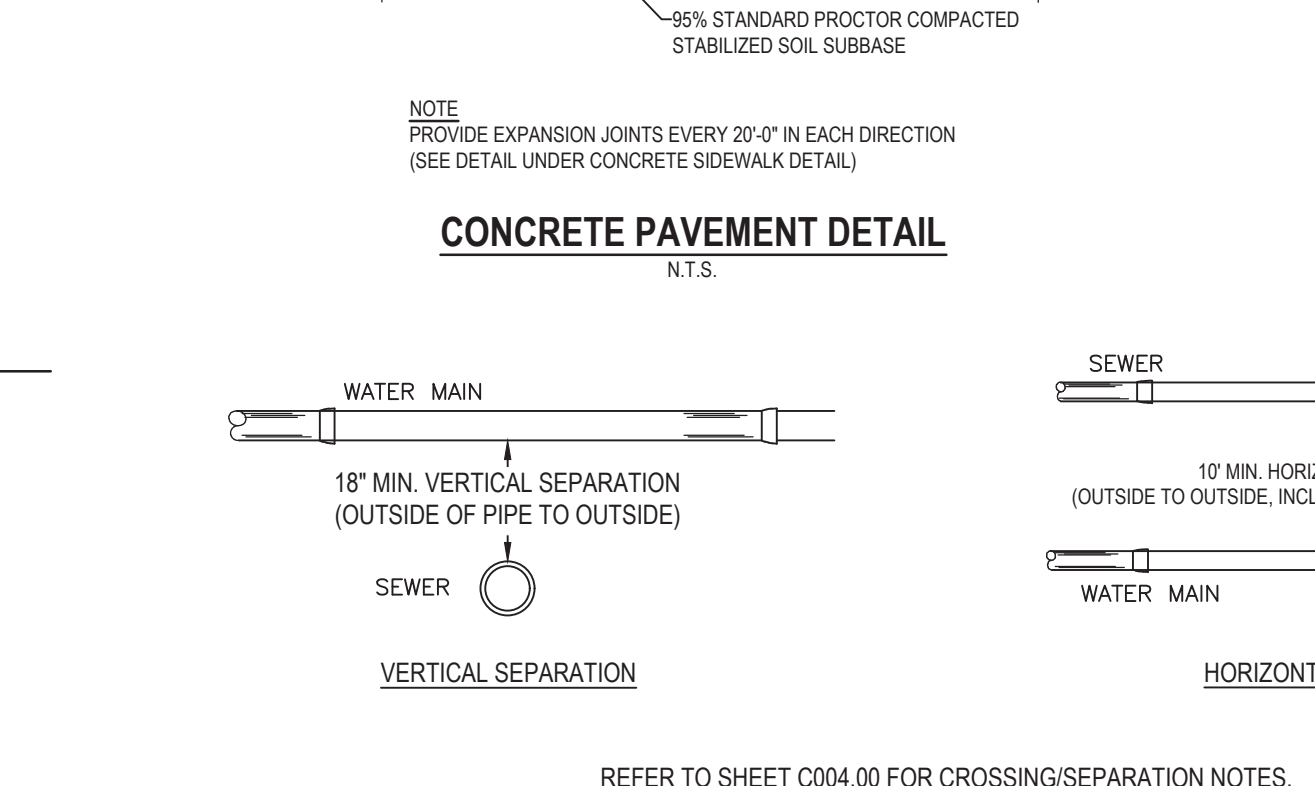
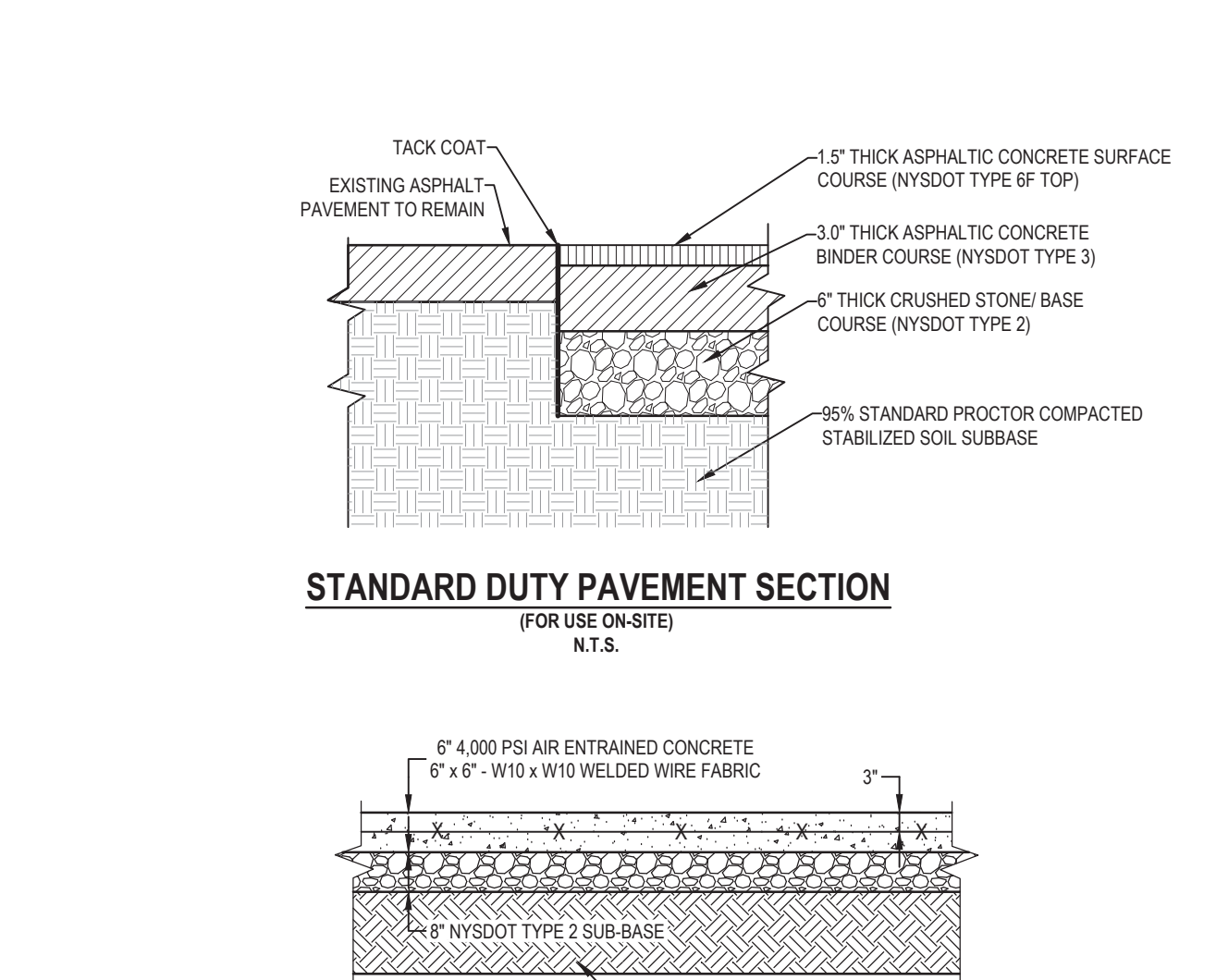
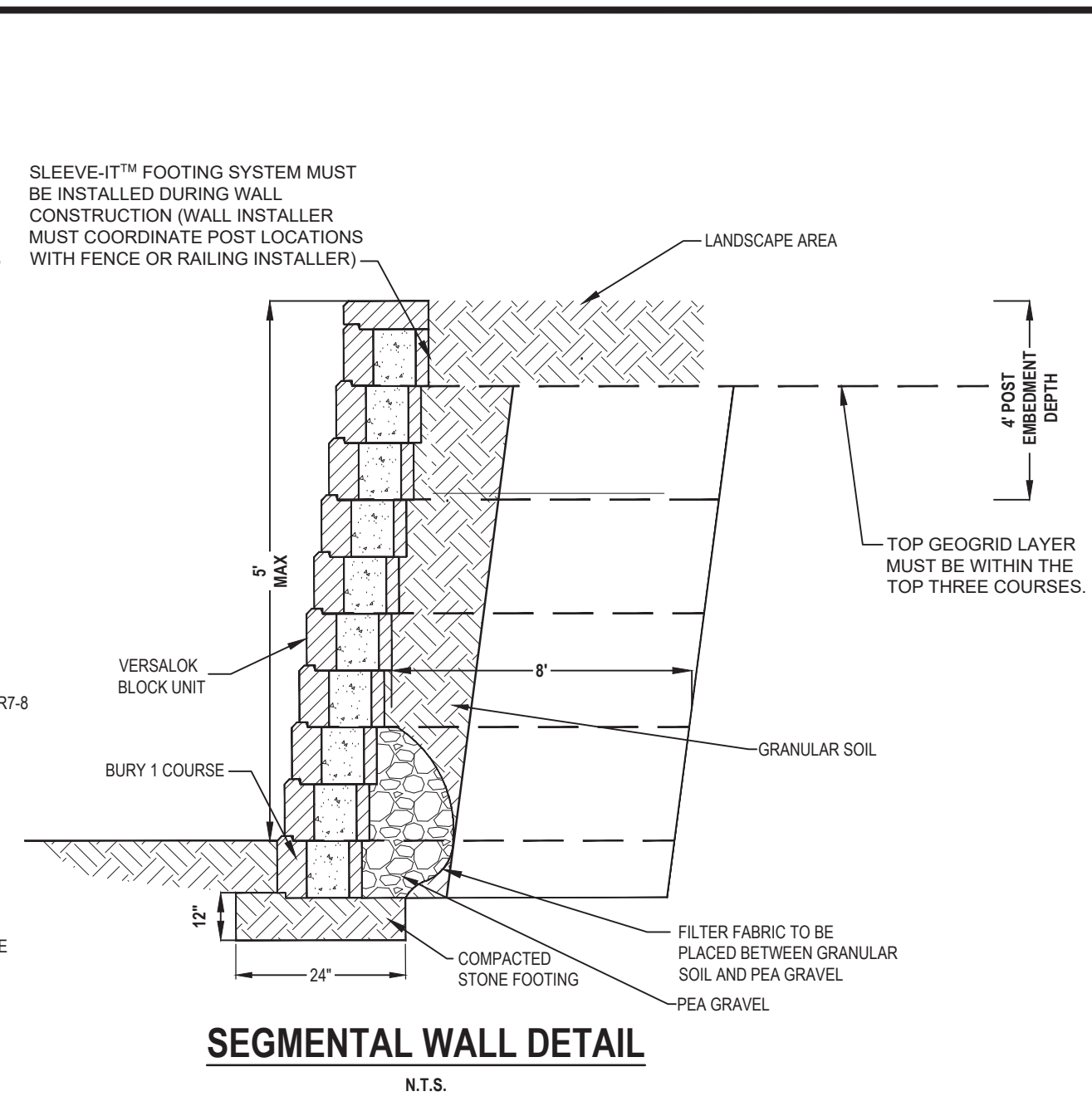
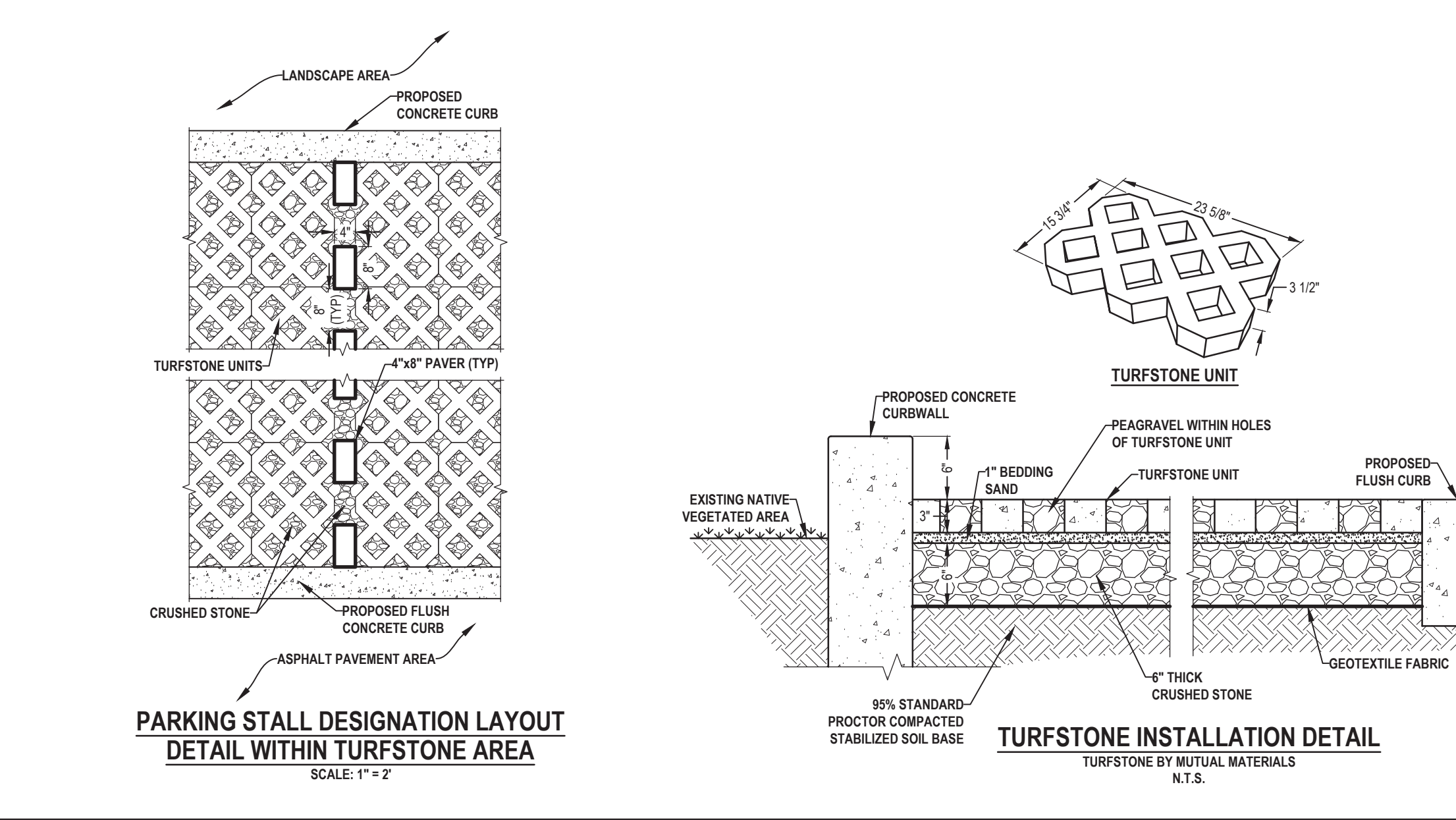
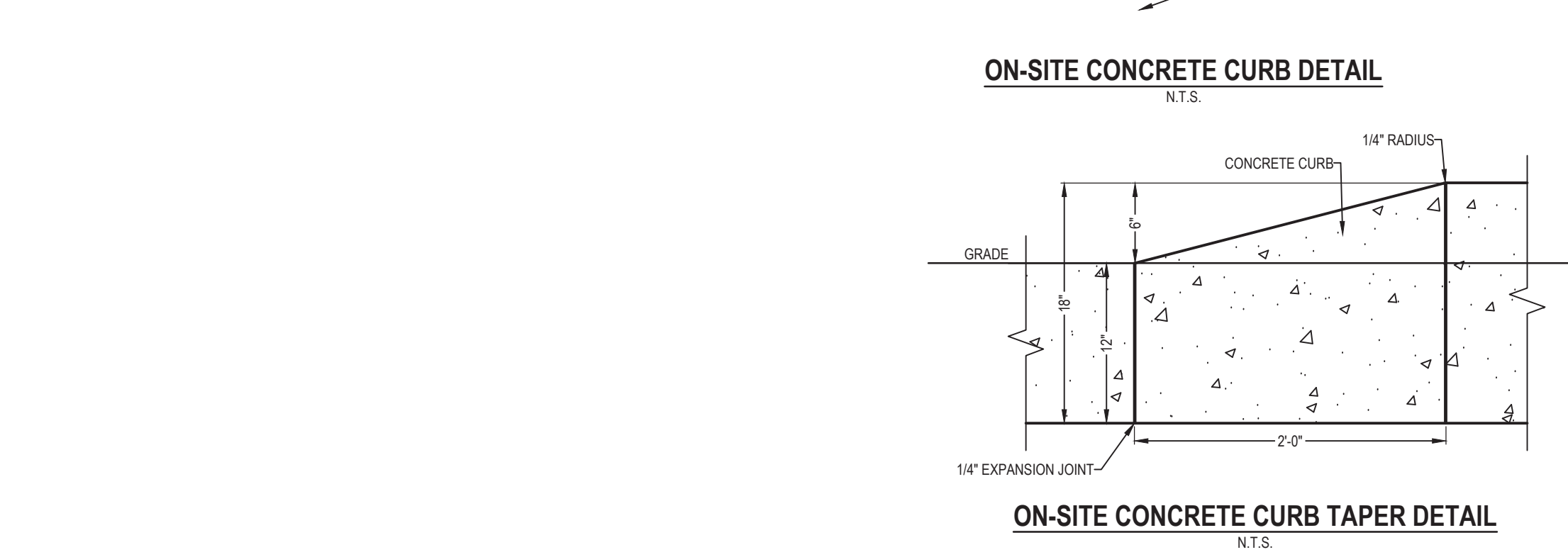
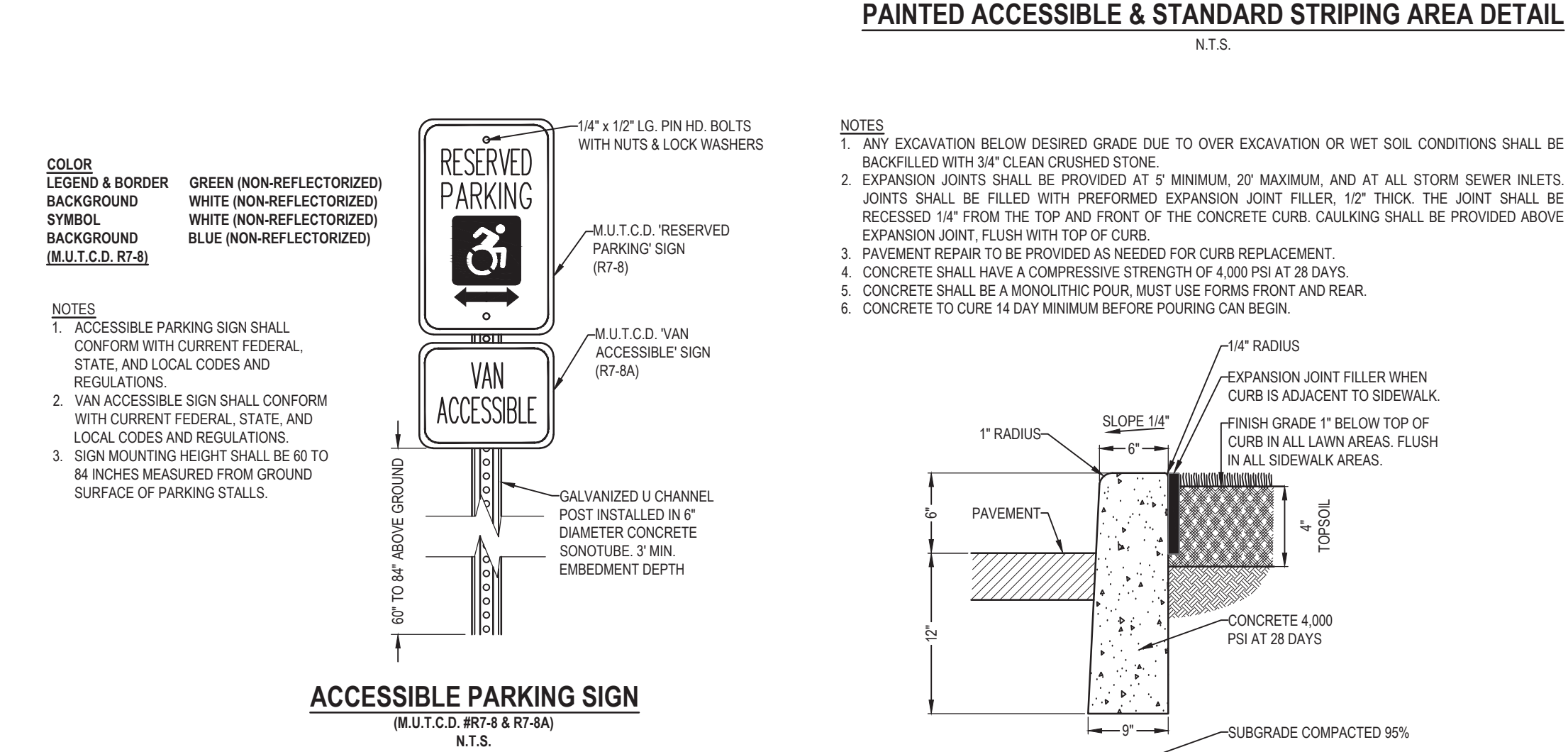
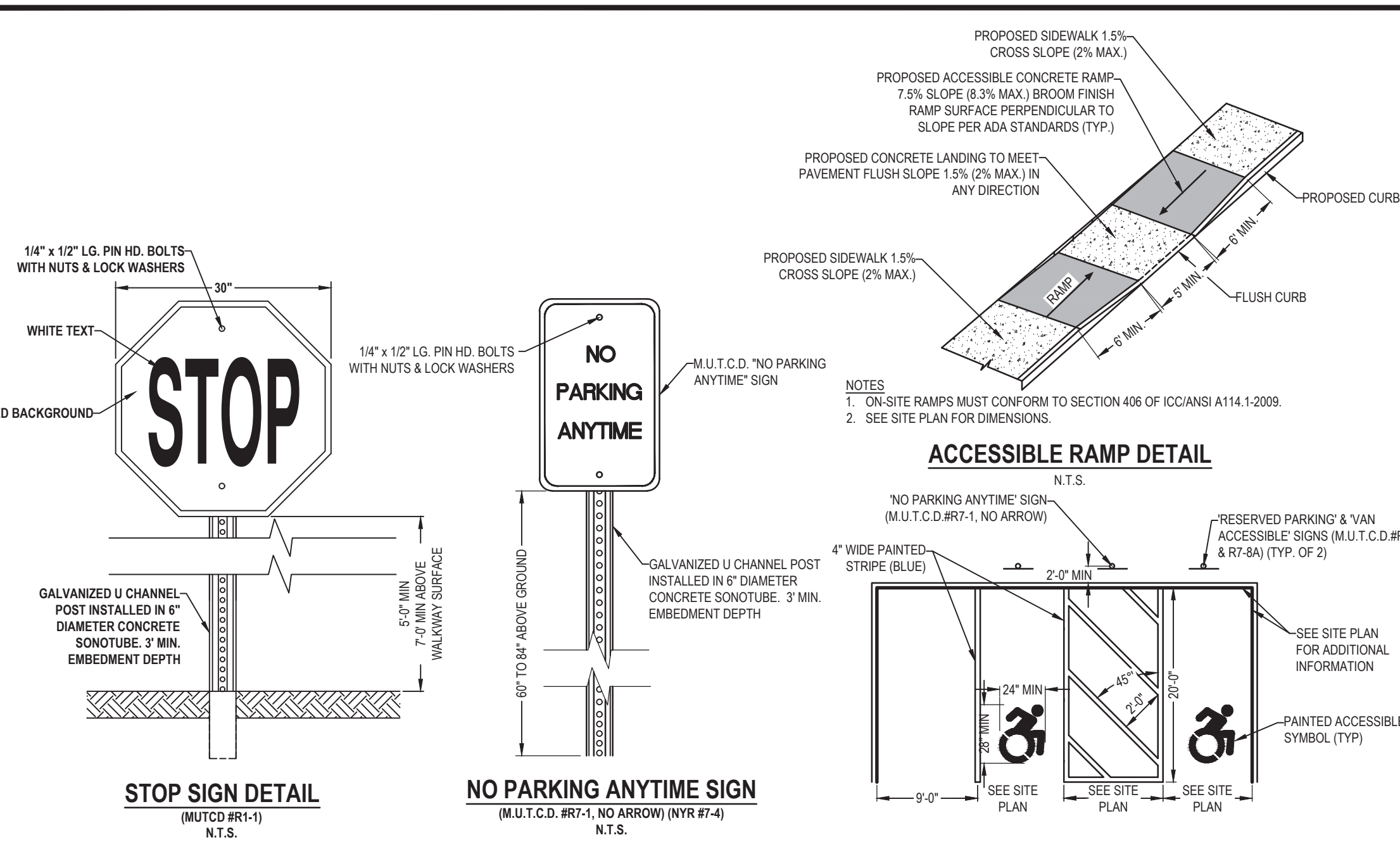
**SEAL & SIGNATURE:**

MARC PILOTTA, P.E.  
NEW YORK STATE PROFESSIONAL ENGINEER #081598

**DRAWING No.:** C-9

**PAGE No.:** 10 OF 11





**PROJECT DATA**

APPLICANT/TOWNER	3 LOCUST AVENUE LLC 42 ADIRONDACK ROAD GARRISON, NY 10524
TAX MAP NUMBER	Sec. 34.5, Block 2, Lot 6
SITE AREA	OVERALL AREA = 110,078.59 SF (2.527 Acres) DISTRICT BOUNDARY AREA = 65,899.39 SF (1.513 Acres)
CURRENT USE	CON ED TRAINING CENTER
PROPOSED USE	SELF-STORAGE FACILITY
EXISTING FOOTPRINT	5,786 SF
PROPOSED FOOTPRINT	15,000 SF
GROSS FLOOR AREA	CELLAR 15,000 SF ENTRY LEVEL 15,000 SF SECOND LEVEL 15,000 SF THIRD LEVEL 15,000 SF FOURTH LEVEL 15,000 SF TOTAL 75,000 SF

**REVISIONS**

NO.	DATE	BY	DESCRIPTION
7	08/06/24	JR	UPDATED PER SWPPP
6	08/22/24	JR	SHEET UNAFFECTED
5	08/06/24	JR	REV. PER TOWN COMMENTS
4	06/20/24	JR	REV. PER TOWN COMMENTS
3	06/03/24	JR	REV. PER TOWN COMMENTS
2	05/01/24	JR	REV. PER ATTORNEY COMMENTS
1	04/15/24	JR	REVISE BULK TABLE

**KEY CIVIL ENGINEERING**  
664 BLUE POINT ROAD, UNIT B  
HOLTSVILLE, NEW YORK 11742  
(831) 961-0806  
www.KeyCivilEngineering.com

**PROJECT NAME**  
**PROPOSED SELF-STORAGE FACILITY**  
3 LOCUST AVENUE  
CORTLANDT MANOR, NY 10567  
COUNTY OF WESTCHESTER  
SECT.: 34.5, BLOCK: 2, LOT: 6

**DRAWING TITLE**  
**DETAIL SHEET**

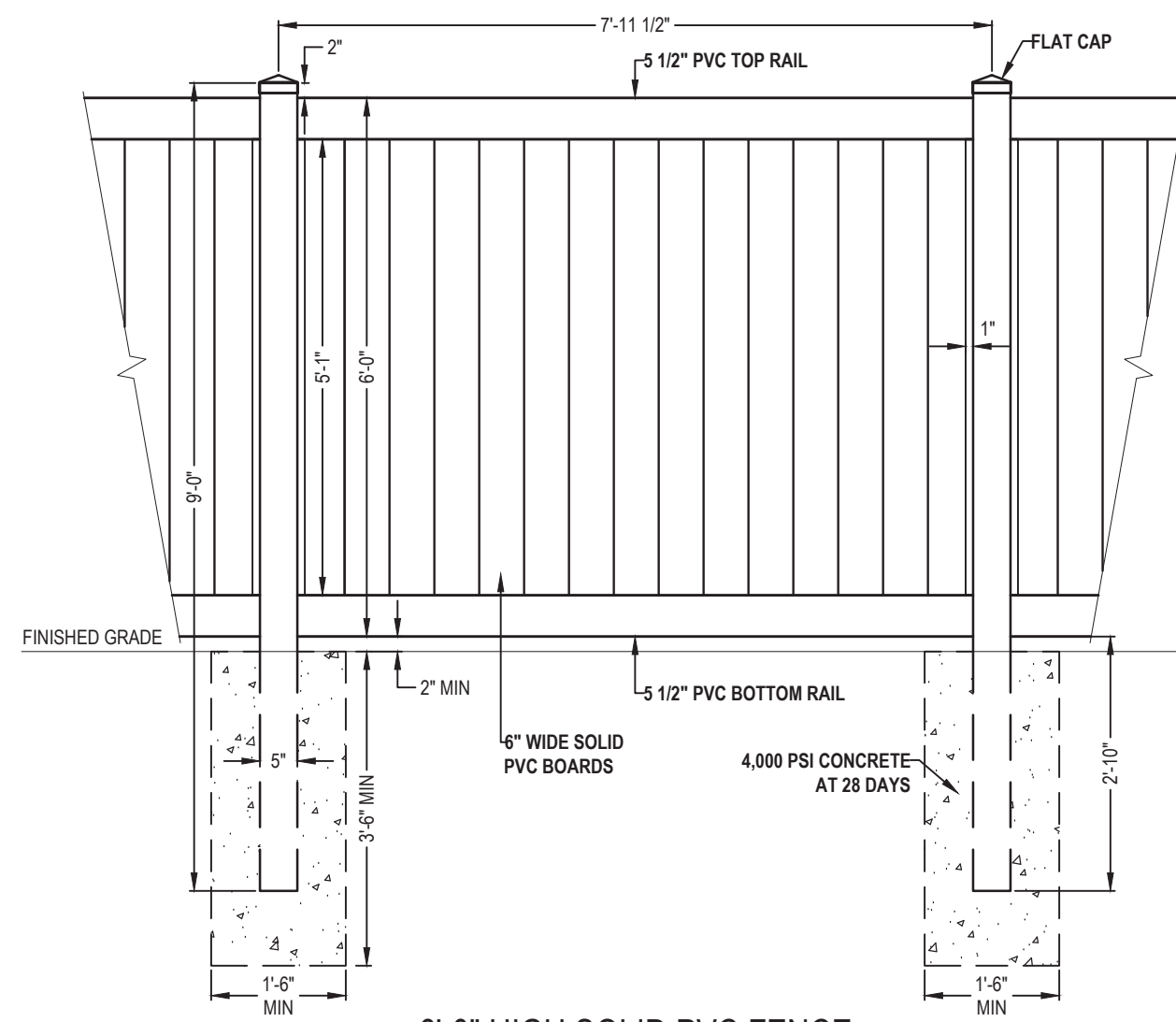
**DATE:** 03/22/2024  
**SCALE:** N.T.S.  
**PROJECT NUMBER:** 24001  
**DRAWING BY:** JR  
**CHECKED BY:** JF  
**APPROVED BY:** MP

**SEAL & SIGNATURE:**  
MARC PILOTTA, P.E.  
NEW YORK STATE PROFESSIONAL ENGINEER #081588

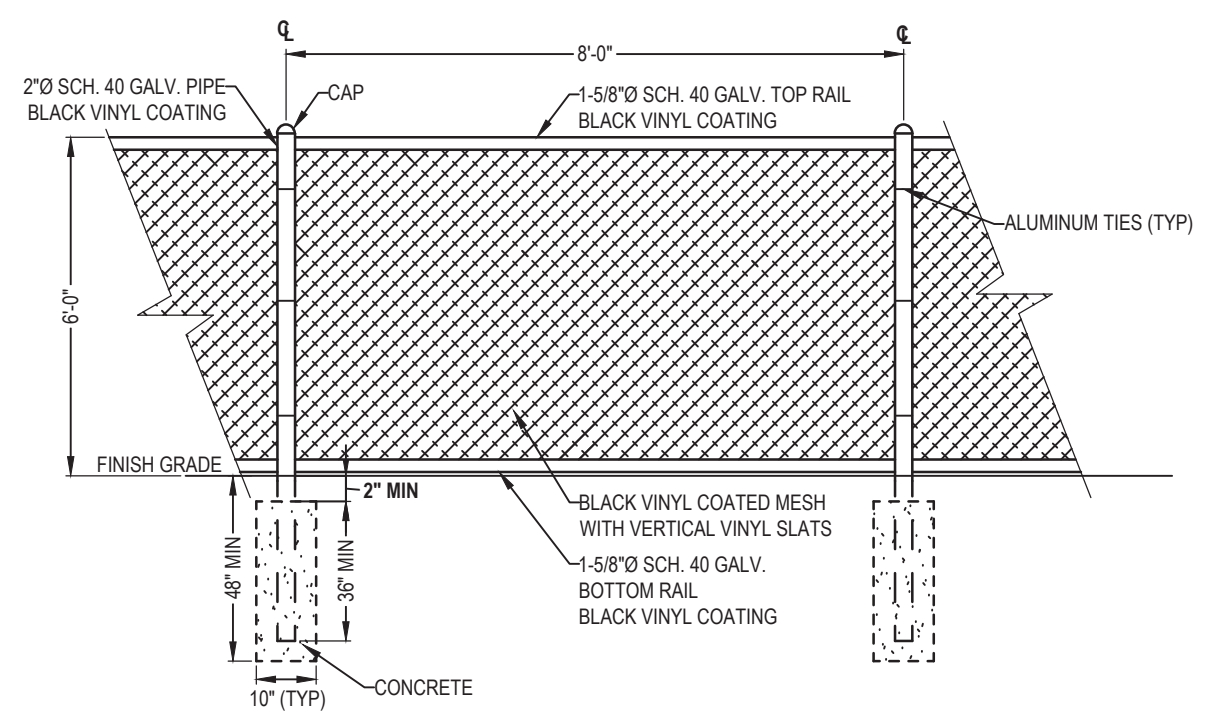
**DRAWING No.:** C-9  
**PAGE No.:** 10 OF 11

CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO ENGINEER OF RECORD FOR REVIEW PRIOR TO CONSTRUCTION FOR ANY DETAIL NOT PROVIDED IN THIS PLAN SET

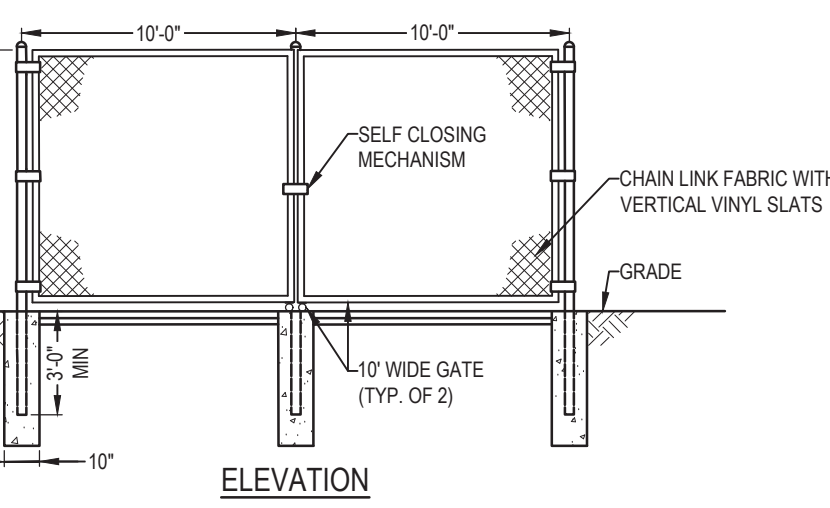
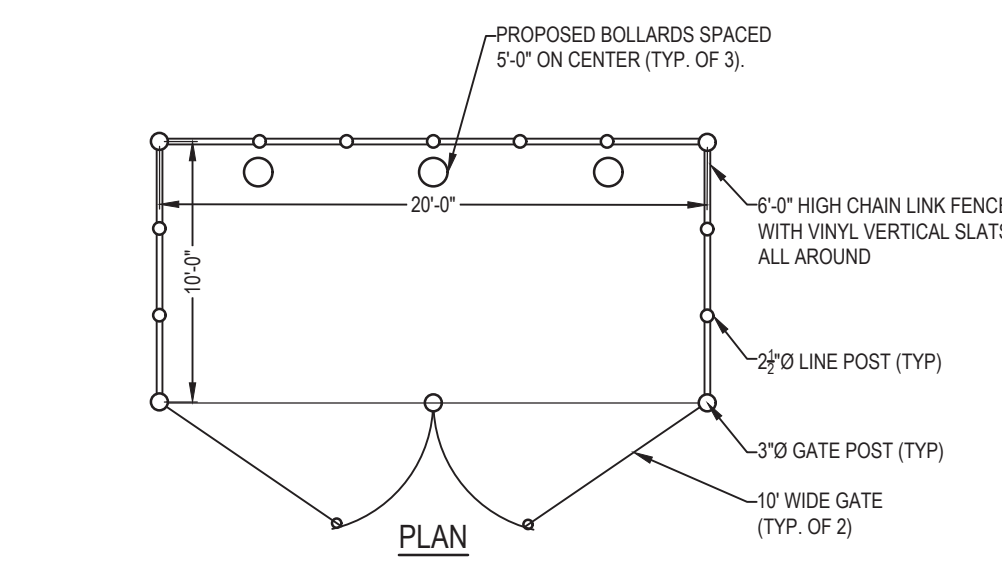




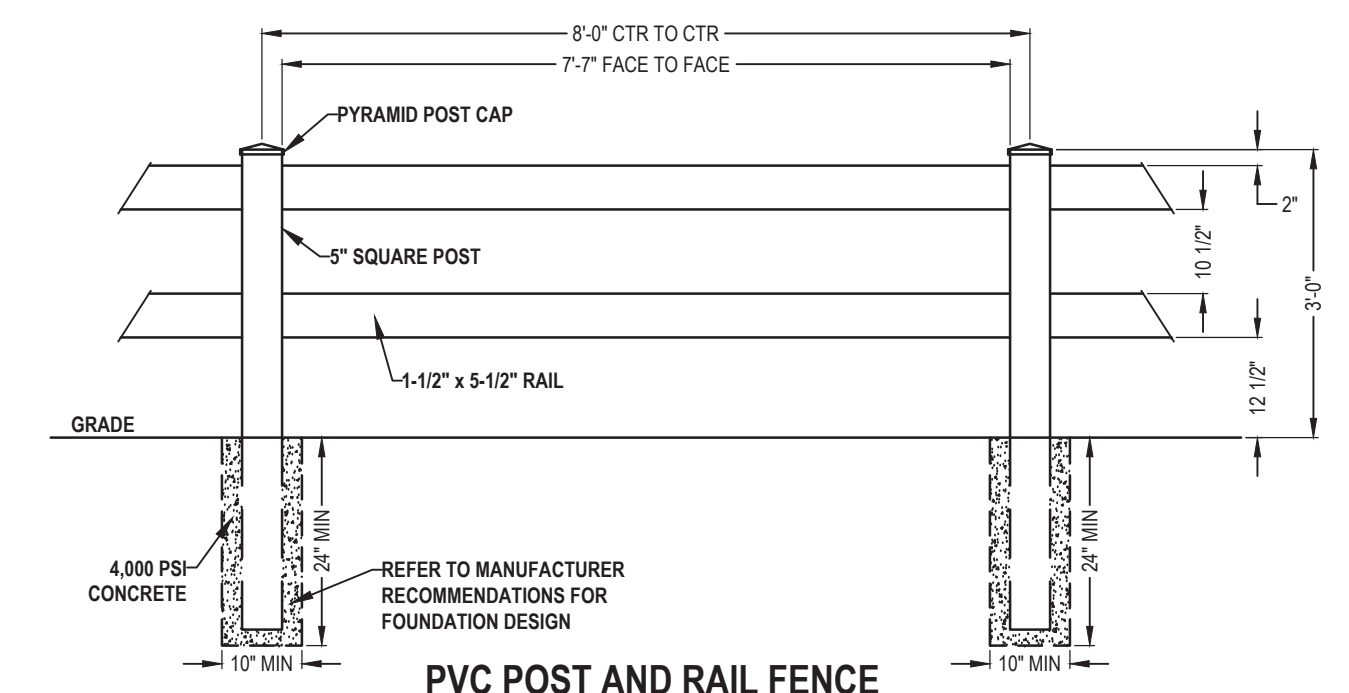
**6'-0" HIGH SOLID PVC FENCE**  
COLOR: WHITE  
N.T.S.



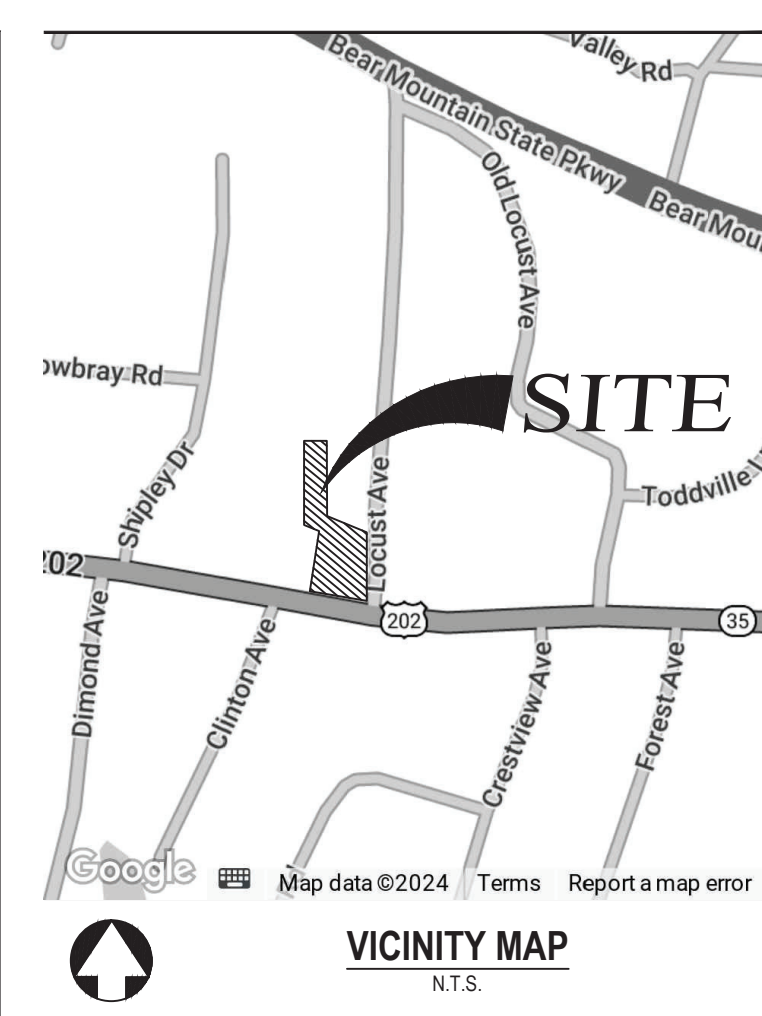
**6'-0" HIGH CHAIN LINK FENCE WITH VINYL SLATS**  
N.T.S.



**CHAIN LINK TRASH ENCLOSURE DETAIL**  
N.T.S.



**PVC POST AND RAIL FENCE**  
LEGEND VINYL SERIES BY MASTER HALCO  
N.T.S.



**VICINITY MAP**  
N.T.S.

**PROJECT DATA**

APPLICANT/TOWNER	3 LOCUST AVENUE LLC 42 AQUeduct ROAD GARRISON, NY 10524
TAX MAP NUMBER	Sec. 34.5, Block 2, Lot 6
SITE AREA	OVERALL AREA = 110,078.59 SF (2.527 Acres) DISTRICT BOUNDARY AREA = 65,899.39 SF (1.513 Acres)
CURRENT USE	CON ED TRAINING CENTER
PROPOSED USE	SELF-STORAGE FACILITY
EXISTING FOOTPRINT	5,786 SF
PROPOSED FOOTPRINT	15,000 SF
GROSS FLOOR AREA (WITH AREA BREAKDOWN)	CELLAR..... 15,000 SF ENTRY LEVEL..... 15,000 SF SECOND LEVEL..... 15,000 SF THIRD LEVEL..... 15,000 SF FOURTH LEVEL..... 15,000 SF TOTAL..... 75,000 SF

NO.	DATE	BY	DESCRIPTION
7	08/06/24	JR	UPDATED PER SWPPP
6	08/22/24	JR	SHEET UNAFFECTED
5	08/06/24	JR	REV. PER TOWN COMMENTS
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3	06/03/24	JR	REV. PER TOWN COMMENTS
2	05/01/24	JR	REV. PER ATTORNEY COMMENTS
1	04/15/24	JR	REVISE BULK TABLE

**REVISIONS**

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HOLTSVILLE, NEW YORK 11742  
(631) 961-0506  
www.KeyCivilEngineering.com

**PROJECT NAME**  
**PROPOSED SELF-STORAGE FACILITY**  
3 LOCUST AVENUE  
CORTLANDT MANOR, NY 10567  
COUNTY OF WESTCHESTER  
SECT.: 34.5, BLOCK: 2, LOT: 6

**DRAWING TITLE**

**DETAIL SHEET**

DATE:	03/22/2024
SCALE:	N.T.S.
PROJECT NUMBER:	24001
DRAWING BY:	JR
CHECKED BY:	JF
APPROVED BY:	MP

**SEAL & SIGNATURE:**

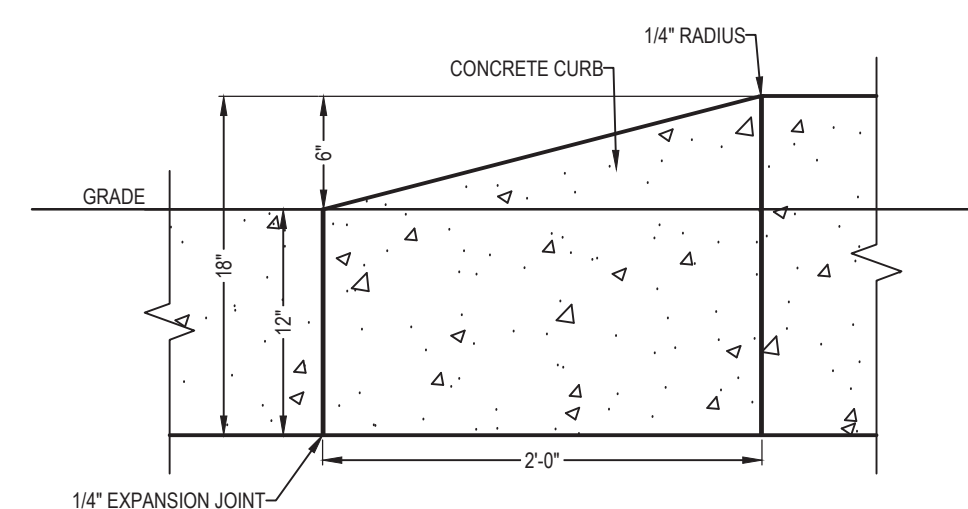
**MARC PIOTTA, P.E.**  
NEW YORK STATE PROFESSIONAL ENGINEER #081558

ALTERNATION OR ADDITION TO THIS DOCUMENT EXCEPT BY A LICENSED PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 2008, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.

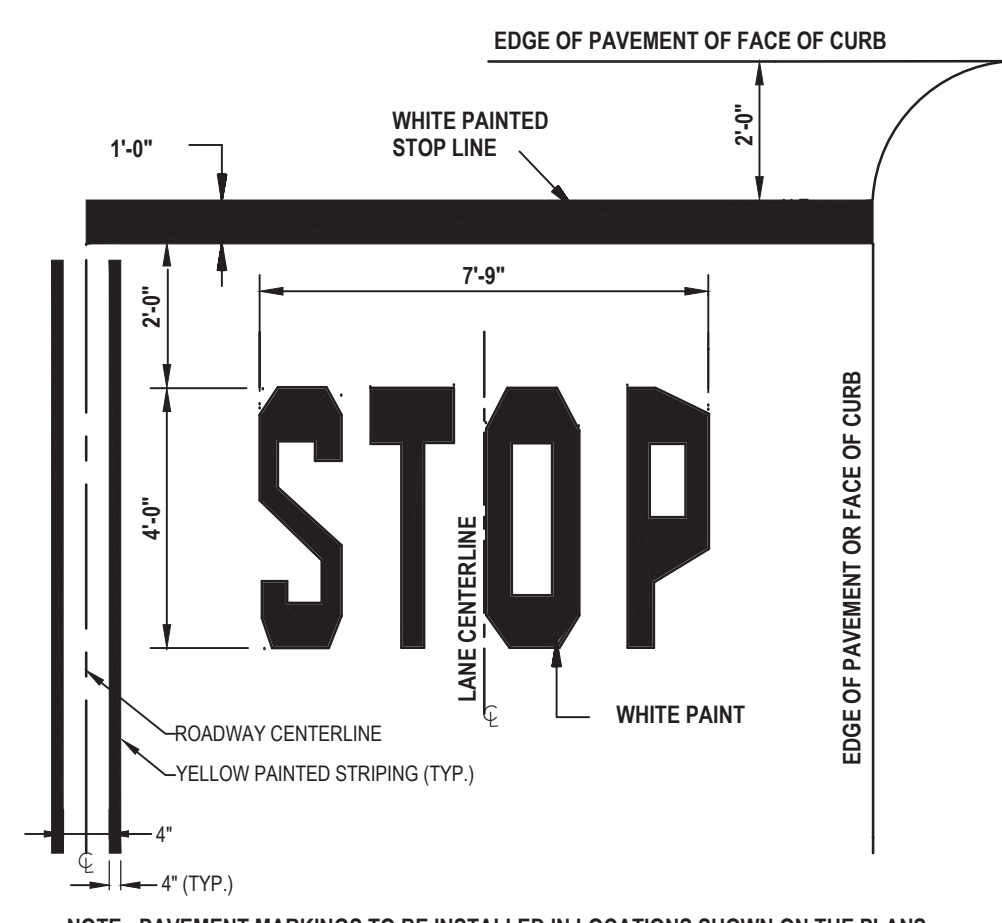
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CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO ENGINEER OF RECORD FOR REVIEW PRIOR TO CONSTRUCTION FOR ANY DETAIL NOT PROVIDED IN THIS PLAN SET.

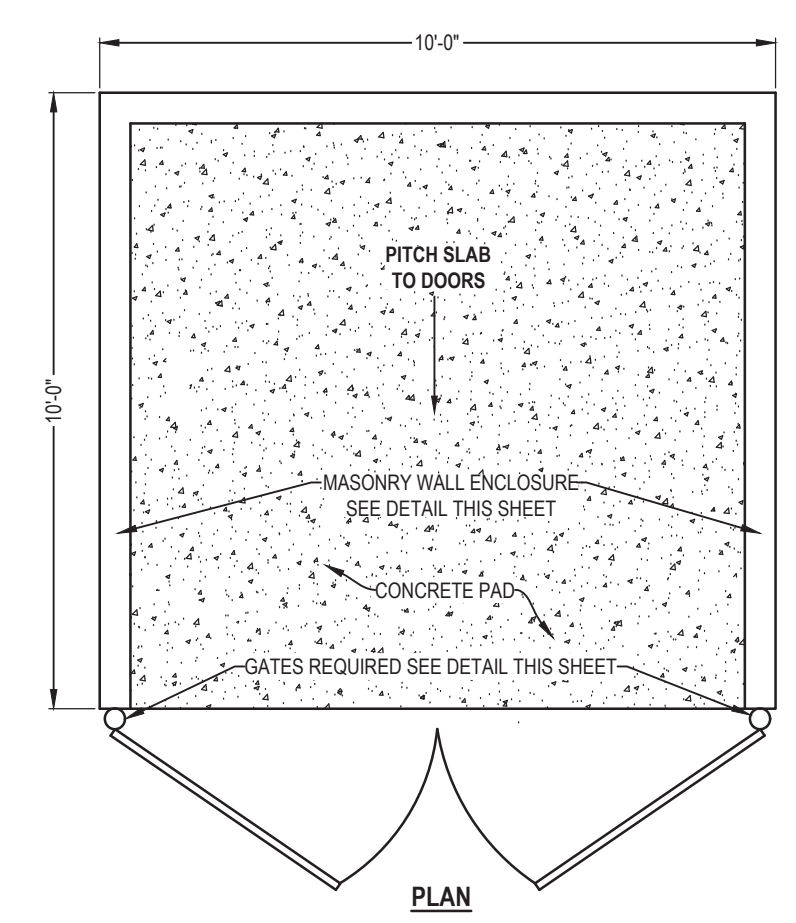
PAGE No: 10 OF 11



**ON-SITE CONCRETE CURB TAPER DETAIL**  
N.T.S.



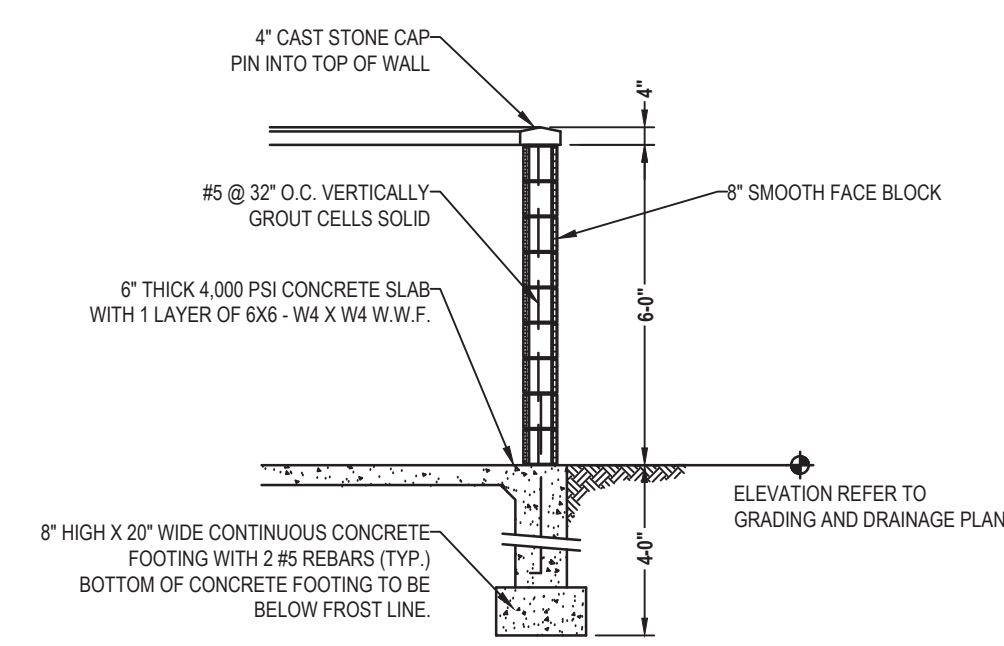
**ON-SITE STOP BAR & LEGEND**  
N.T.S.



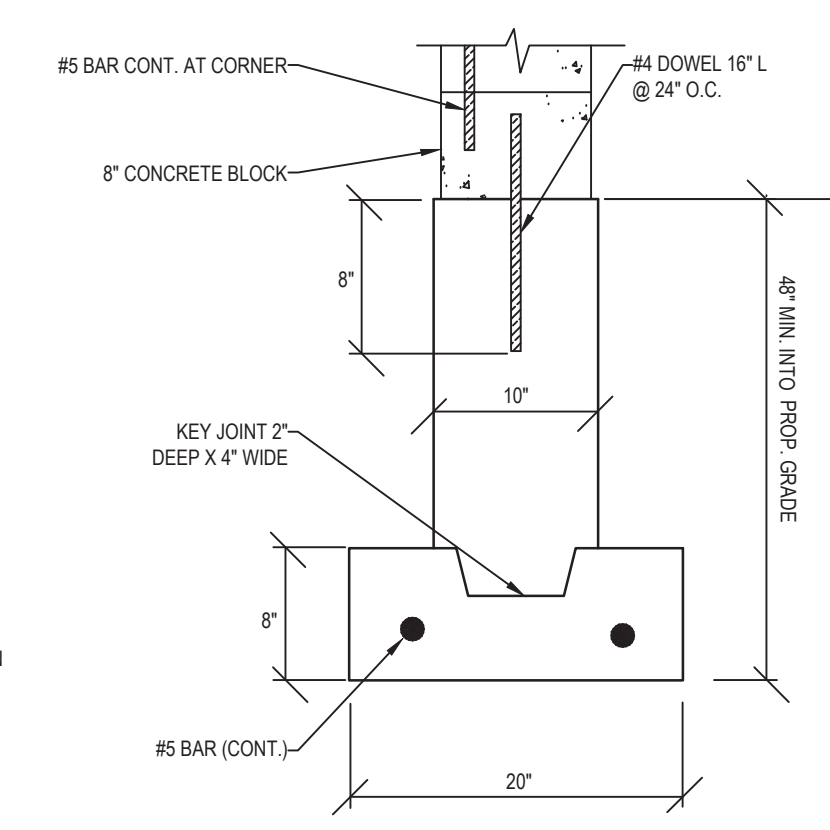
**DUMPSTER LAYOUT DETAIL**  
N.T.S.

REFUSE FACILITIES SHALL BE MAINTAINED BY THE APPLICANT/TOWNER SO AS NOT TO OFFER ANY NOXIOUS OR OFFENSIVE ODORS AND/OR FUMES.

**NOTE**  
PAINT TO MATCH BUILDING



**DUMPSTER SECTION**  
N.T.S.

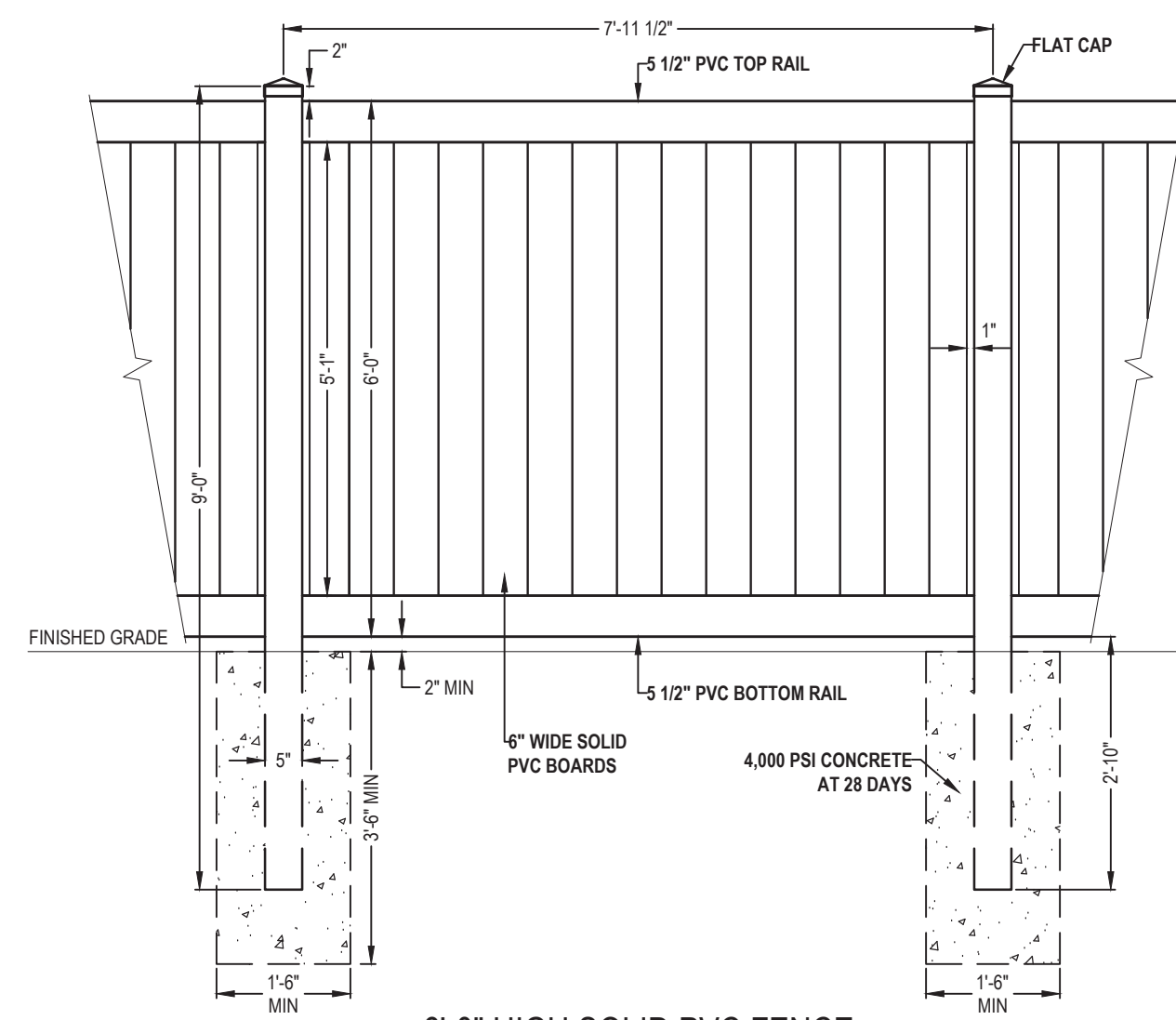


**DUMPSTER FOUNDATION**  
N.T.S.

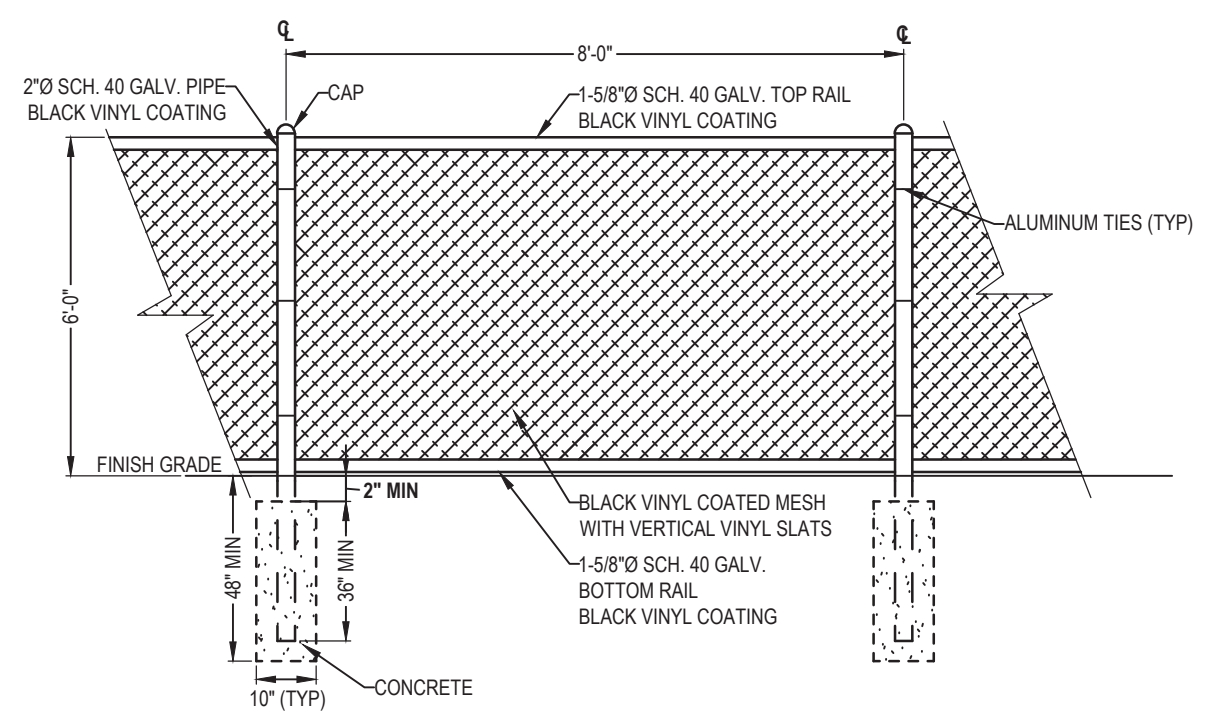
**NOTE:**  
1. ALL PAINT TO BE FAST DRYING TRAFFIC PAINT, MEETING THE REQUIREMENTS OF AASHTO M248 TYPE F. PAINT SHALL BE APPLIED AS SPECIFIED BY THE MANUFACTURER.  
2. CONTRACTOR TO APPLY 2 COATS OF PAINT

**ON-SITE PAINTED TRAFFIC ARROW DETAIL**  
N.T.S.

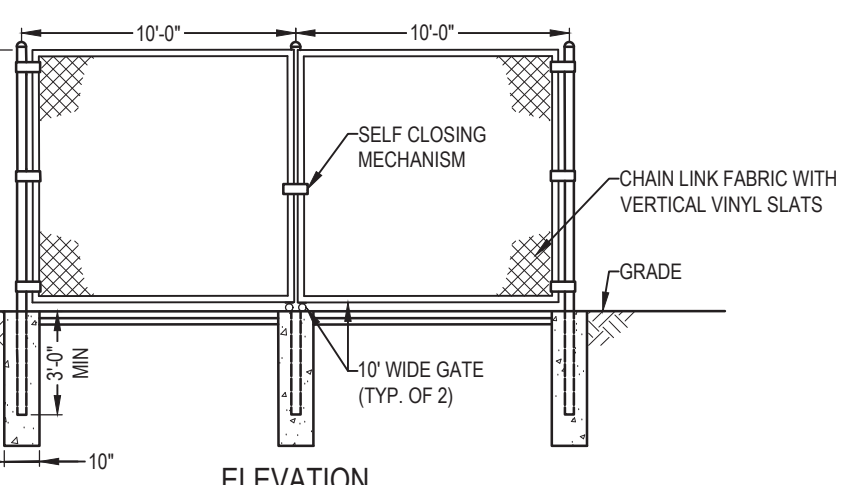
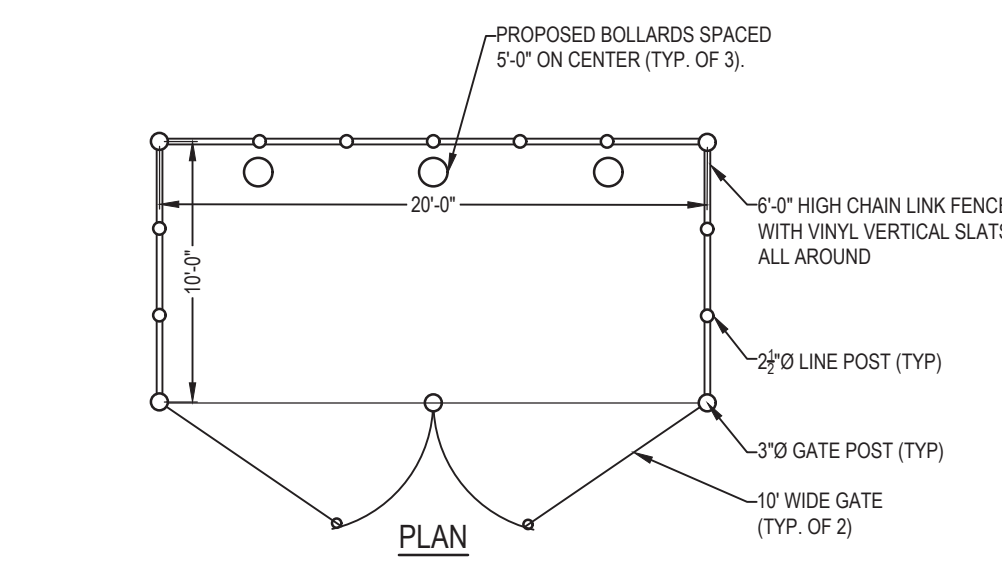




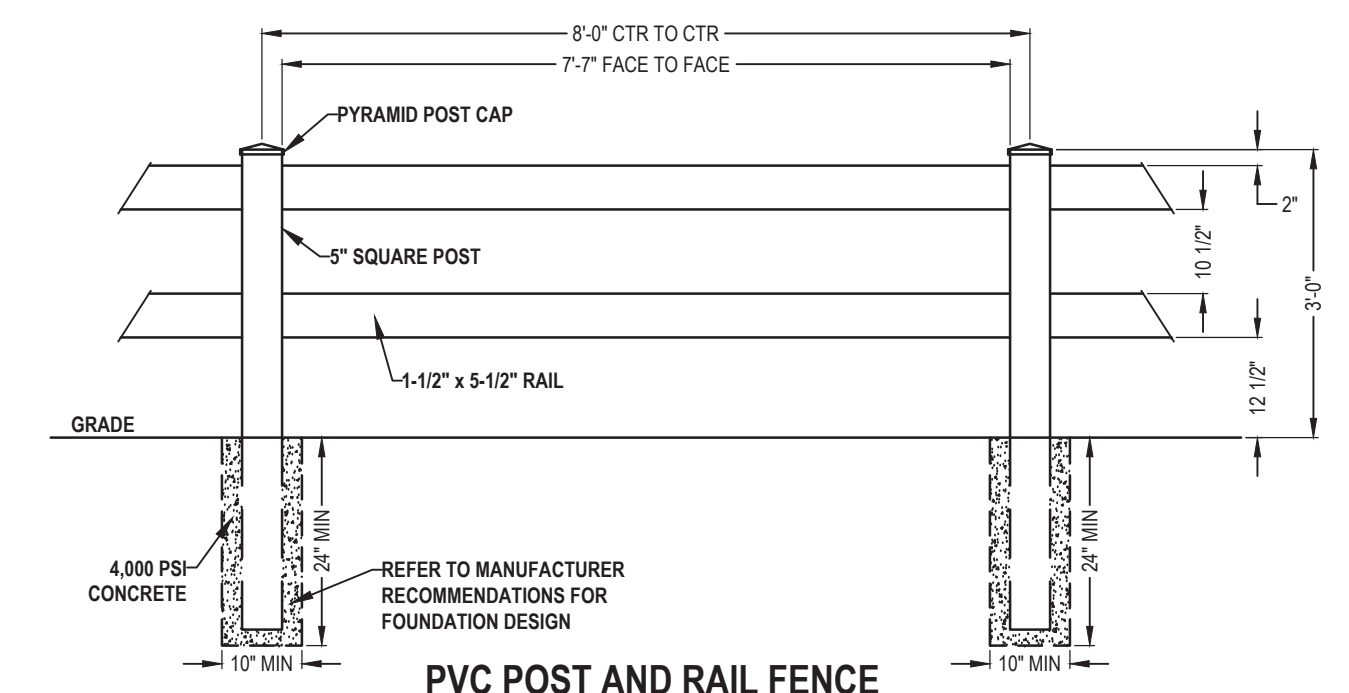
**6'-0" HIGH SOLID PVC FENCE**  
COLOR: WHITE  
N.T.S.



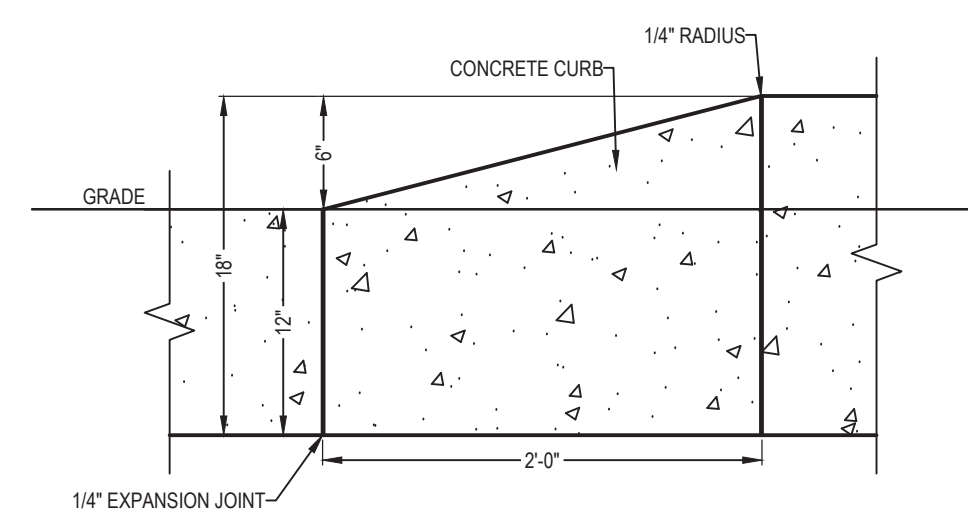
**6'-0" HIGH CHAIN LINK FENCE WITH VINYL SLATS**  
N.T.S.



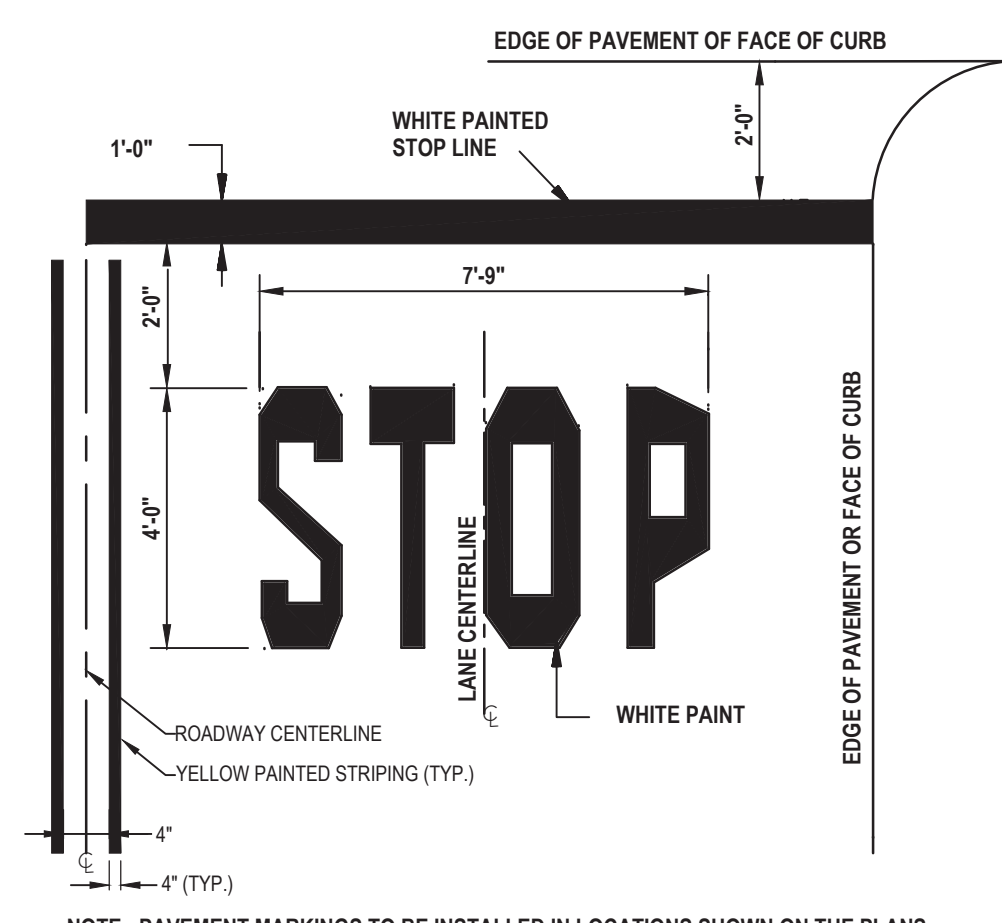
**CHAIN LINK TRASH ENCLOSURE DETAIL**  
N.T.S.



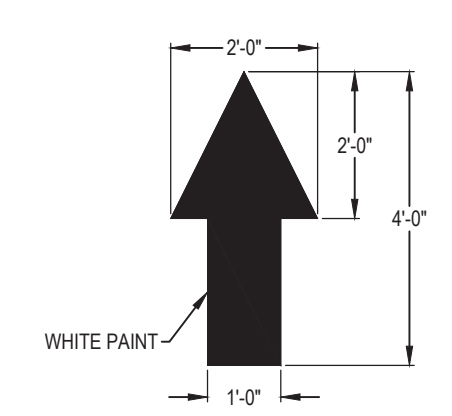
**PVC POST AND RAIL FENCE**  
LEGEND VINYL SERIES BY MASTER HALCO  
N.T.S.



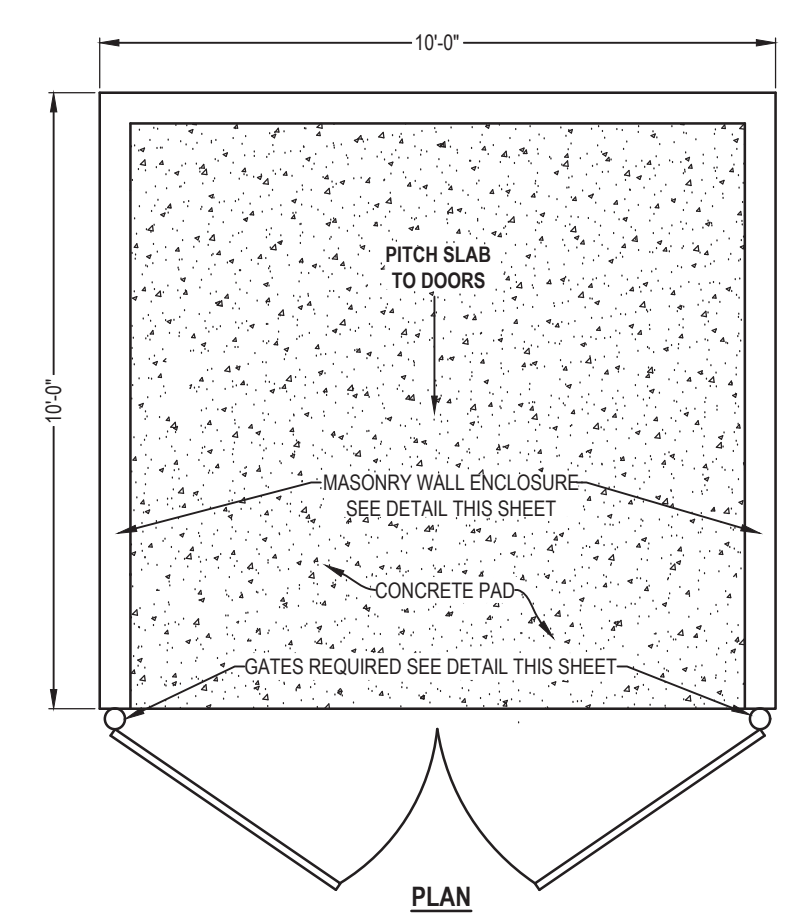
**ON-SITE CONCRETE CURB TAPER DETAIL**  
N.T.S.



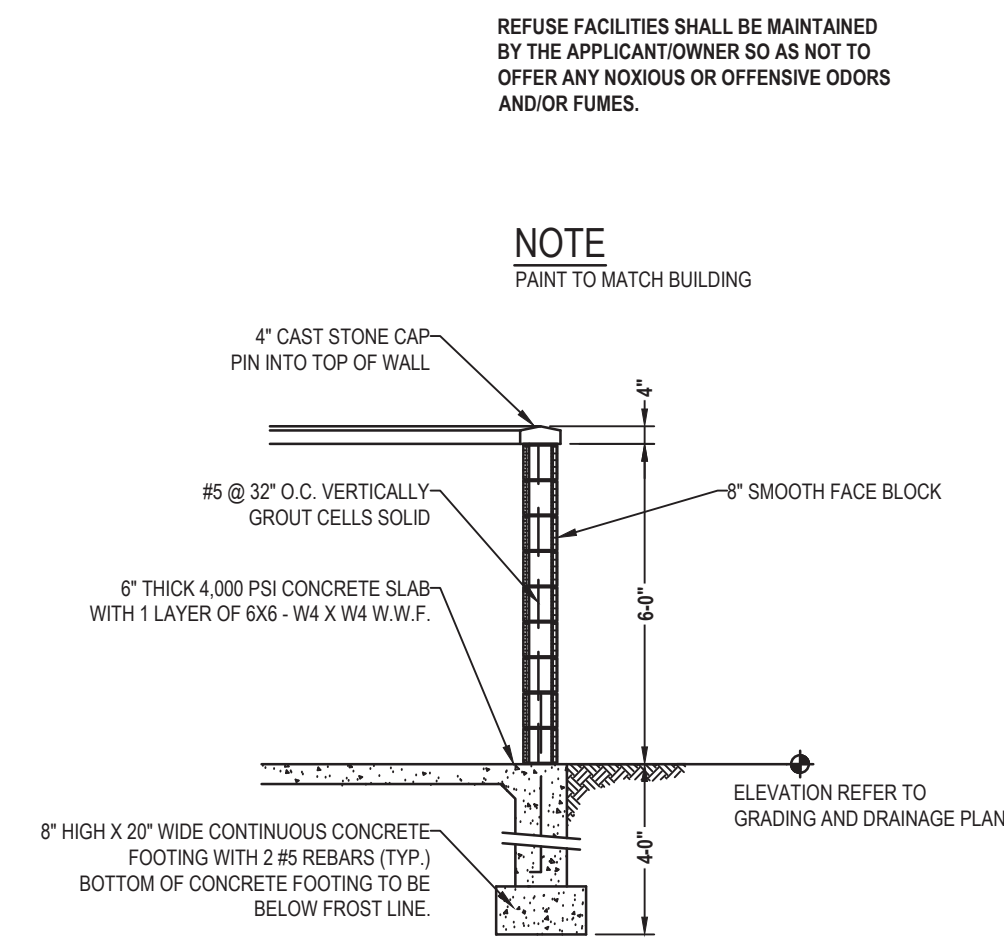
**ON-SITE STOP BAR & LEGEND**  
N.T.S.



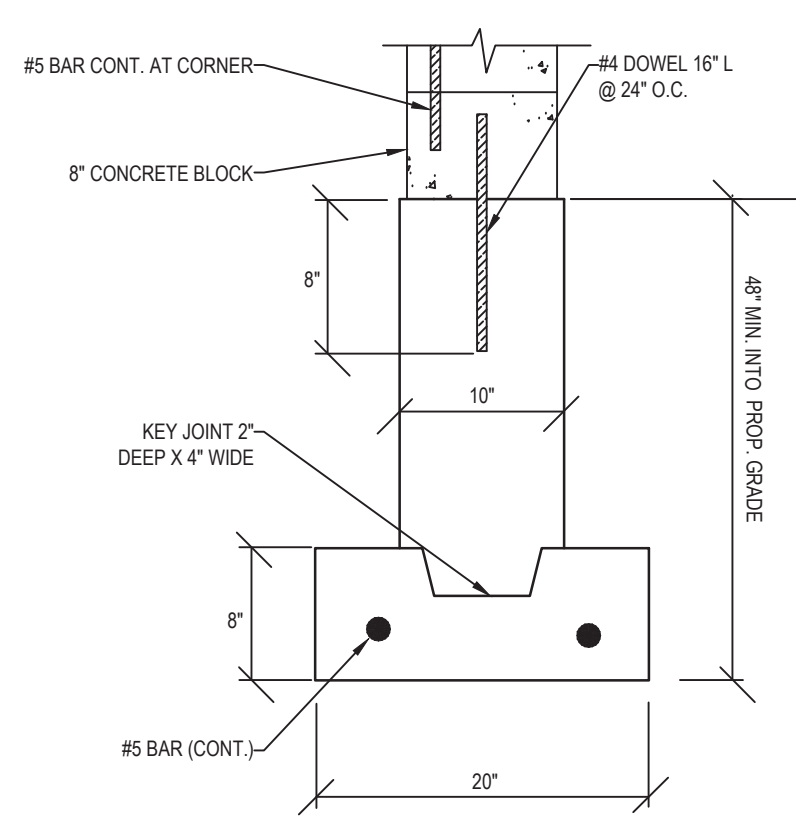
**ON-SITE PAINTED TRAFFIC ARROW DETAIL**  
N.T.S.



**DUMPSTER LAYOUT DETAIL**  
N.T.S.



**DUMPSTER SECTION**  
N.T.S.



**DUMPSTER FOUNDATION**  
N.T.S.



**PROJECT DATA**

APPLICANT/OWNER	3 LOCUST AVENUE LLC 42 AQUeduct ROAD GARRISON, NY 10524
TAX MAP NUMBER	Sec. 34.5, Block 2, Lot 6
SITE AREA	OVERALL AREA = 110,078.59 SF (2.527 Acres) DISTRICT BOUNDARY AREA = 65,899.39 SF (1.513 Acres)
CURRENT USE	CON ED TRAINING CENTER
PROPOSED USE	SELF-STORAGE FACILITY
EXISTING FOOTPRINT	5,786 SF
PROPOSED FOOTPRINT	15,000 SF
GROSS FLOOR AREA (WITH AREA BREAKDOWN)	CELLAR 15,000 SF ENTRY LEVEL 15,000 SF SECOND LEVEL 15,000 SF THIRD LEVEL 15,000 SF FOURTH LEVEL 15,000 SF TOTAL 75,000 SF

NO.	DATE	BY	DESCRIPTION
8	09/24/24	JK	REV. PER TOWN COMMENTS
7	08/06/24	JR	UPDATED PER SWPPP
6	08/22/24	JR	SHEET UNAFFECTED
5	08/06/24	JR	REV. PER TOWN COMMENTS
4	06/20/24	JR	REV. PER TOWN COMMENTS
3	06/03/24	JR	REV. PER TOWN COMMENTS
2	05/01/24	JR	REV. PER ATTORNEY COMMENTS
1	04/15/24	JR	REVISE BULK TABLE

**KEY CIVIL ENGINEERING**  
664 BLUE POINT ROAD, UNIT B  
HOLTSVILLE, NEW YORK 11742  
(631) 961-0506  
www.KeyCivilEngineering.com

**PROJECT NAME**  
**PROPOSED SELF-STORAGE FACILITY**  
3 LOCUST AVENUE  
CORTLANDT MANOR, NY 10567  
COUNTY OF WESTCHESTER  
SECT.: 34.5, BLOCK: 2, LOT: 6

**DRAWING TITLE**  
**DETAIL SHEET**

DATE: 03/22/2024  
SCALE: N.T.S.  
PROJECT NUMBER: 24001  
DRAWING BY: JR  
CHECKED BY: JF  
APPROVED BY: MP

SEAL & SIGNATURE:  
  
**MARC PIOTTA, P.E.**  
 NEW YORK STATE PROFESSIONAL ENGINEER #081558  
 DRAWING No: C-10  
 PAGE No: 10 OF 11

CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO ENGINEER OF RECORD FOR REVIEW PRIOR TO CONSTRUCTION FOR ANY DETAIL NOT PROVIDED IN THIS PLAN SET





**PROJECT DATA**

APPLICANT/TOWNER: 3 LOCUST AVENUE LLC  
42 AQUeduct ROAD  
GARRISON, NY 10524

TAX MAP NUMBER: Sec. 34.5, Block 2, Lot 6

SITE AREA: OVERALL AREA = 110,078.59 SF (2.527 Acres)  
DISTRICT BOUNDARY AREA = 65,899.39 SF (1.513 Acres)

CURRENT USE: CON ED TRAINING CENTER

PROPOSED USE: SELF-STORAGE FACILITY

EXISTING FOOTPRINT: 5,786 SF

PROPOSED FOOTPRINT: 15,000 SF

GROSS FLOOR AREA: CELLAR: 15,000 SF  
ENTRY LEVEL: 15,000 SF  
SECOND LEVEL: 15,000 SF  
THIRD LEVEL: 15,000 SF  
FOURTH LEVEL: 15,000 SF  
TOTAL: 75,000 SF

NO.	DATE	BY	DESCRIPTION
8	09/24/24	JK	REV. PER TOWN COMMENTS
7	08/06/24	JR	UPDATED PER SWPPP
6	08/22/24	JR	ADD FIRE TRUCK PATH
5	08/06/24	JR	REV. PER TOWN COMMENTS
4	06/20/24	JR	REV. PER TOWN COMMENTS
3	06/03/24	JR	REV. PER TOWN COMMENTS
2	05/01/24	JR	REV. PER ATTORNEY COMMENTS
1	04/15/24	JR	REVISE BULK TABLE

**REVISIONS**

**CIVIL ENGINEERING**  
664 BLUE POINT ROAD, UNIT B  
HOLTSVILLE, NEW YORK 11742  
(631) 961-0506  
www.KeyCivilEngineering.com

PROJECT NAME: **PROPOSED SELF-STORAGE FACILITY**  
3 LOCUST AVENUE  
CORTLANDT MANOR, NY 10567  
COUNTY OF WESTCHESTER  
SECTION: 34.5, BLOCK: 2, LOT: 6

DRAWING TITLE: **FIRE CODE EXHIBIT**

DATE:	03/22/2024
SCALE:	1" = 30'
PROJECT NUMBER:	24001
DRAWING BY:	JR
CHECKED BY:	JF
APPROVED BY:	MP

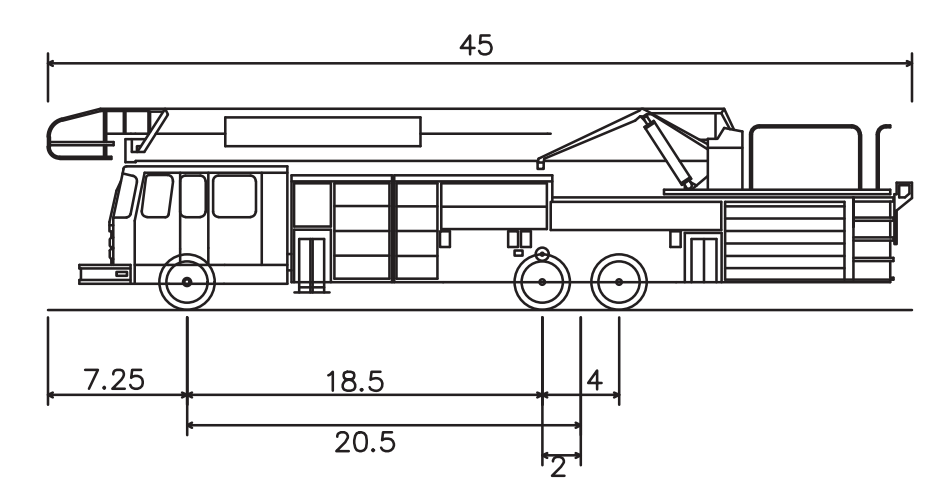
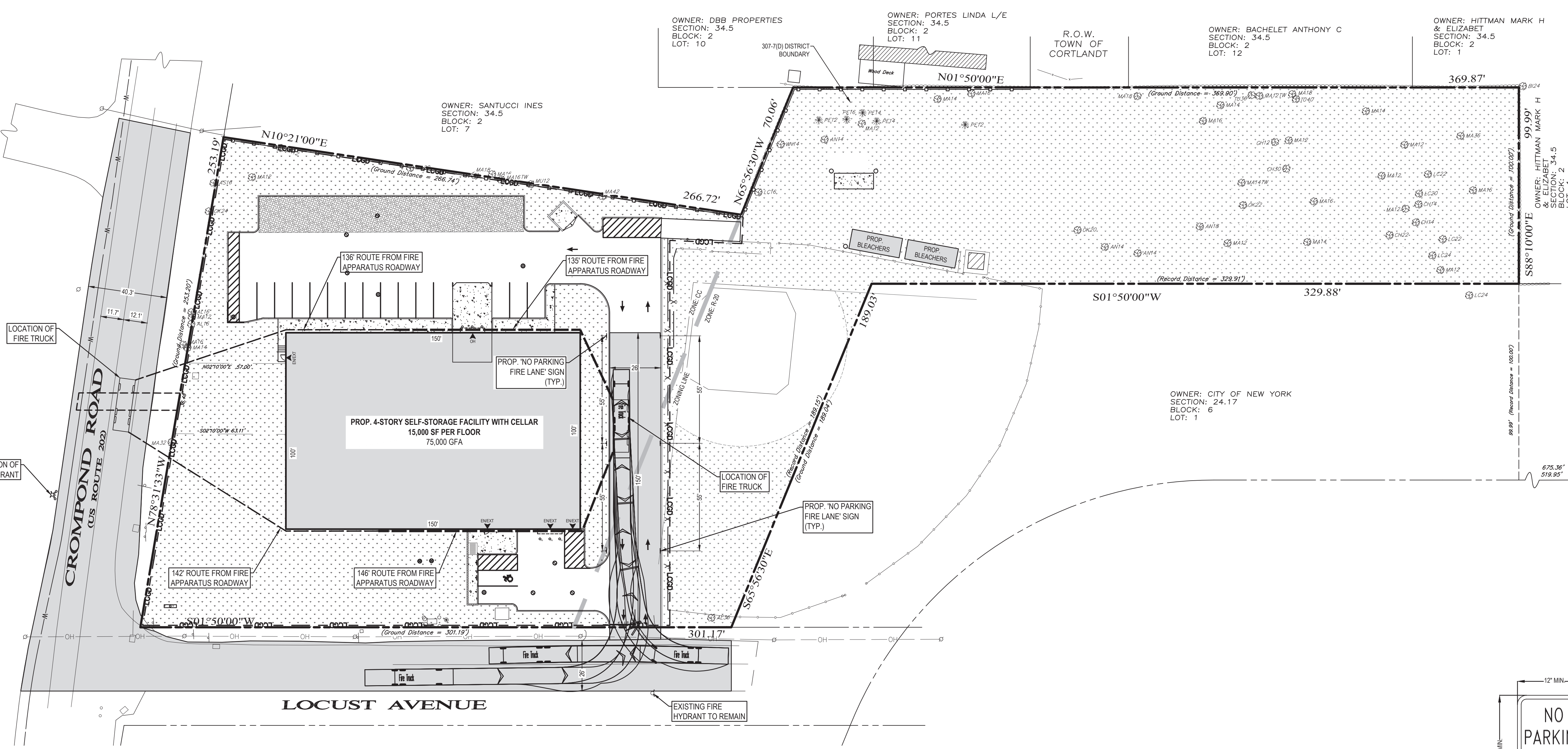
SEAL & SIGNATURE:

**MARC PIOTTA, P.E.**  
NEW YORK STATE PROFESSIONAL ENGINEER #081558

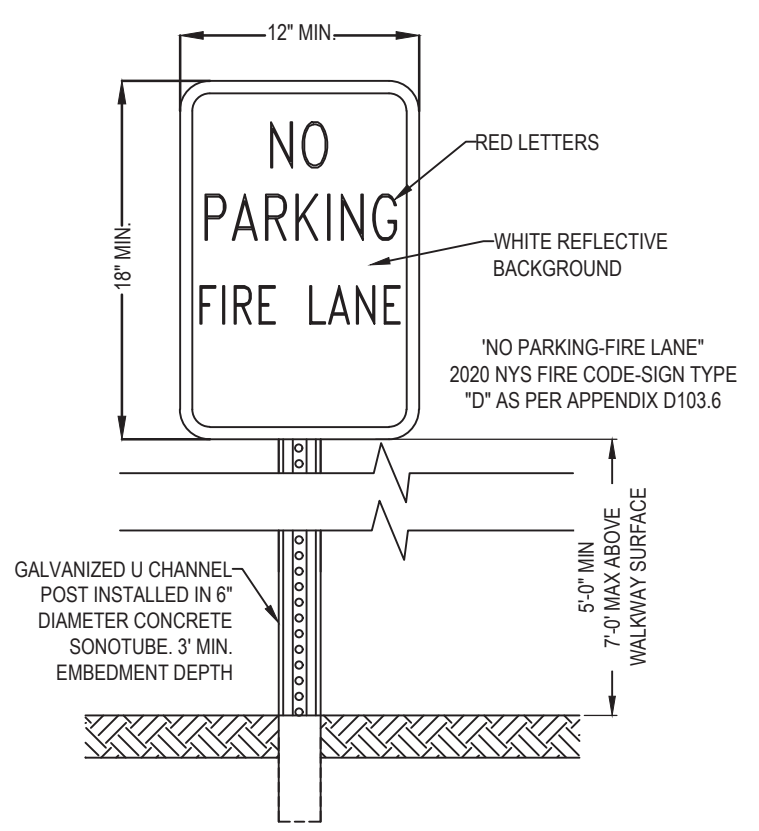
ALTERNATION OR ADDITION TO THIS DOCUMENT EXCEPT BY A LICENSED PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 2008, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.

DRAWING No: **C-11**

PAGE No: **11 OF 11**



Fire Truck  
Overall Length 45.000ft  
Overall Width 8.250ft  
Overall Body Height 10.475ft  
Min Body Ground Clearance 0.906ft  
Track Width 8.250ft  
Lock-to-lock time 6.00s  
Curb to Curb Turning Radius 35.150ft

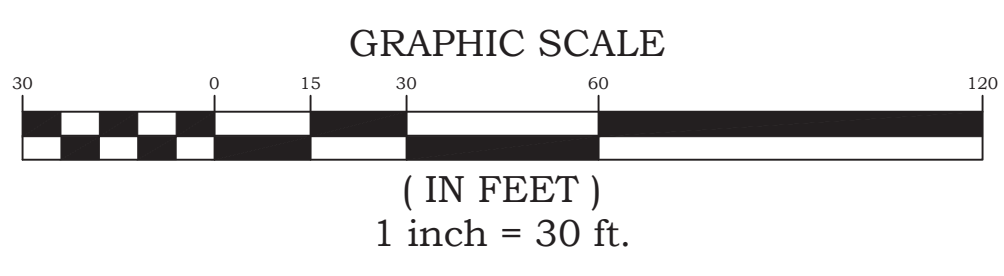


**NOTE:**  
1. WHERE REQUIRED BY THE LOCAL FIRE MARSHAL, SIGNS SHALL BE LOCATED ON EITHER SIDE OF THE ACCESS ROAD SPACED A MAXIMUM 150 FEET ON CENTER.

**FIRE LANE SIGN DETAIL**  
N.T.S.

**Dig Safely. New York**  
800-962-7962  
www.digsafelynewyork.com

- Call Before You Dig
- Wait The Required Time
- Confirm Utility Response
- Respect the Marks
- Dig With Care





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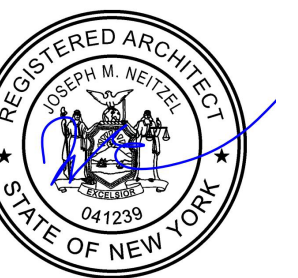
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ISSUE DATE	COMMENT
02/02/24	TOWN BOARD SUBMISSION
03/27/24	PLANNING BOARD
07/02/24	ELEVATION REVISIONS
08/16/24	PLANNING REVISIONS
09/25/24	PLANNING REVISIONS

CLIENT:  
**KPB PROPERTIES LLC**

PROJECT:  
**CORTLANDT SELF STORAGE  
 3 LOCUST AVENUE  
 CORTLANDT, NY**

SEAL & SIGNATURE



REGISTRATION EXPIRES: 10/31/2026

DATE:	05/8/23
PROJECT No.	23032C
DRAWING BY:	D.R.
CHK BY:	J.N.
SHEET NUMBER:	

TITLE DRAWING:  
**BASEMENT  
 CONSTRUCTION  
 PLAN**  
**A-100**



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03/27/24	PLANNING BOARD
07/02/24	ELEVATION REVISIONS
08/16/24	PLANNING REVISIONS
09/25/24	PLANNING REVISIONS

CLIENT:  
**KPB PROPERTIES LLC**

PROJECT:  
**CORTLANDT SELF STORAGE  
 3 LOCUST AVENUE  
 CORTLANDT, NY**

SEAL & SIGNATURE



REGISTRATION EXPIRES: 10/31/2026

DATE:	05/8/23
PROJECT No.	23032C
DRAWING BY:	D.R.
CHK BY:	J.N.
SHEET NUMBER:	

TITLE DRAWING:  
**FIRST FLOOR  
 CONSTRUCTION  
 PLAN**

**A-101**



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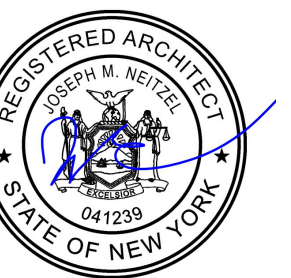
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ISSUE DATE	COMMENT
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03/27/24	PLANNING BOARD
07/02/24	ELEVATION REVISIONS
08/16/24	PLANNING REVISIONS
09/25/24	PLANNING REVISIONS

CLIENT:  
**KPB PROPERTIES LLC**

PROJECT:  
**CORTLANDT SELF STORAGE  
 3 LOCUST AVENUE  
 CORTLANDT, NY**

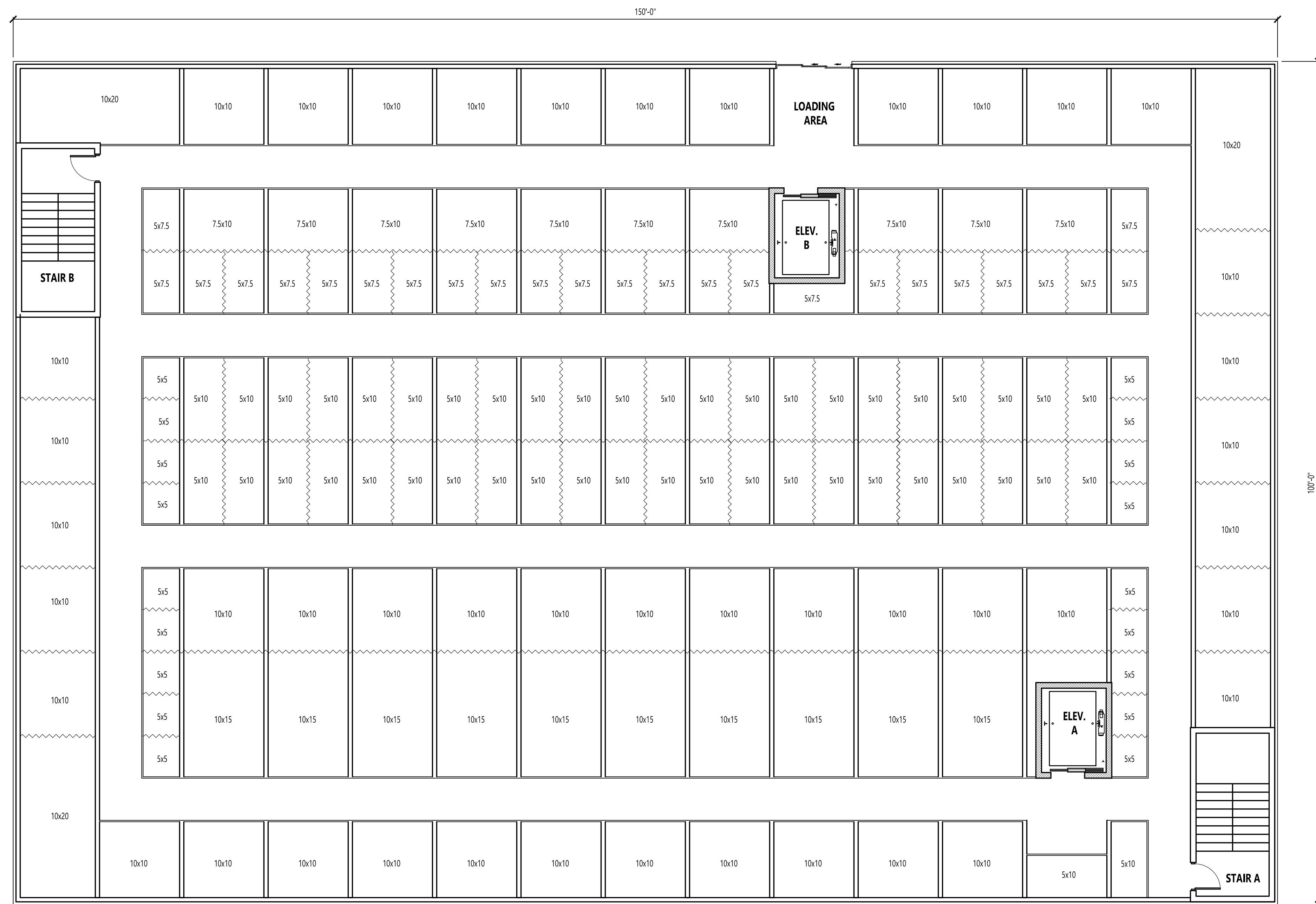
SEAL & SIGNATURE



REGISTRATION EXPIRES: 10/31/2026

DATE:	05/8/23
PROJECT No.	23032C
DRAWING BY:	D.R.
CHK BY:	J.N.
SHEET NUMBER:	

TITLE DRAWING:  
**SECOND FLOOR  
 CONSTRUCTION  
 PLAN**  
**A-102**



IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER AN ITEM IN ANY WAY.

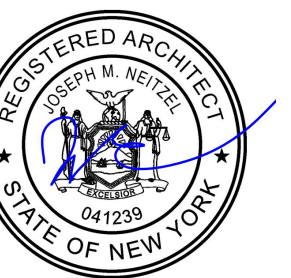
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ISSUE DATE	COMMENT
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03/27/24	PLANNING BOARD
07/02/24	ELEVATION REVISIONS
08/16/24	PLANNING REVISIONS
09/25/24	PLANNING REVISIONS

CLIENT:  
**KPB PROPERTIES LLC**

PROJECT:  
**CORTLANDT SELF STORAGE  
 3 LOCUST AVENUE  
 CORTLANDT, NY**

SEAL & SIGNATURE

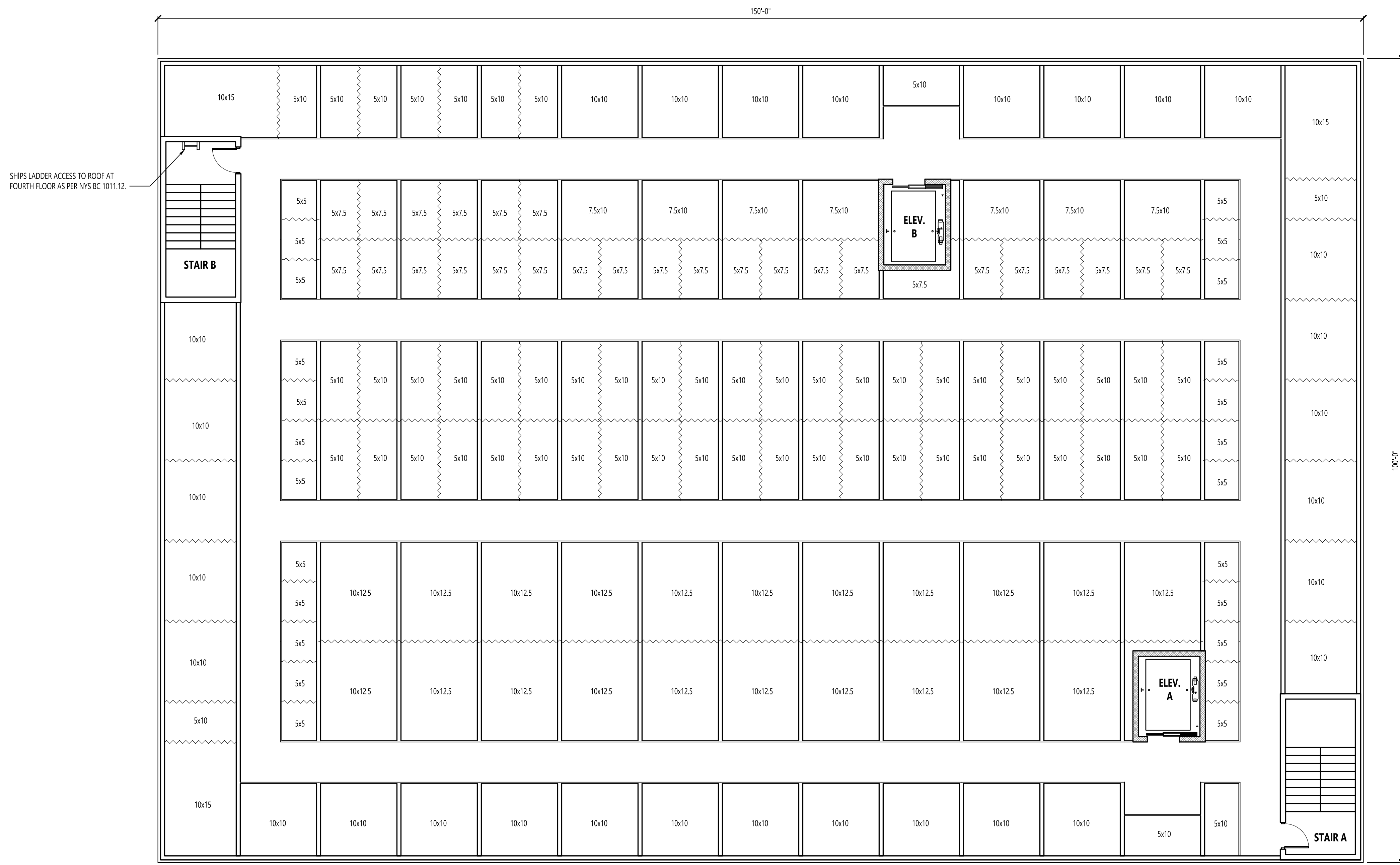


REGISTRATION EXPIRES: 10/31/2026

DATE:	05/8/23
PROJECT No.	23032C
DRAWING BY:	D.R.
CHK BY:	J.N.
SHEET NUMBER:	

TITLE DRAWING:  
**THIRD & FOURTH  
 FLOOR CONSTRUCT.  
 PLAN**

**A-103**







**Architecture P.C.**

Architecture Planning Design  
406 North Country Road  
Saint James, NY 11780  
(631) 862-8095  
JMN-Architecture.com

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08/16/24	PLANNING REVISIONS
09/25/24	PLANNING REVISIONS

CLIENT:  
**KPB PROPERTIES LLC**

PROJECT:  
**CORTLANDT SELF STORAGE  
3 LOCUST AVENUE  
CORTLANDT, NY**

SEAL & SIGNATURE



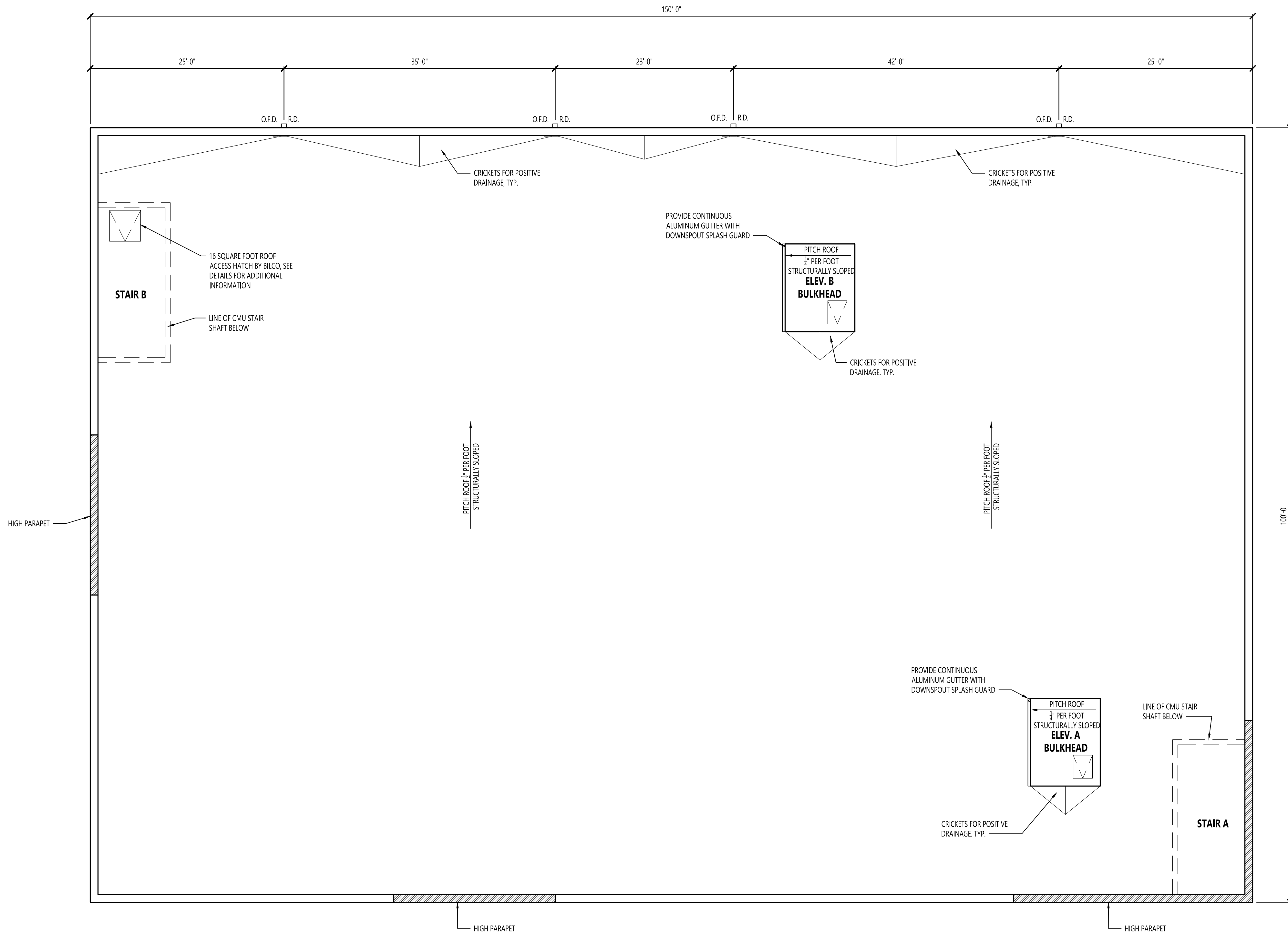
REGISTRATION EXPIRES: 10/31/2026

DATE:	05/8/23
PROJECT No.	23032C
DRAWING BY:	D.R.
CHK BY:	J.N.
SHEET NUMBER:	

TITLE DRAWING:

**ROOF  
CONSTRUCTION  
PLAN**

**A-104**



**CODE NOTE:**  
NO ELEVATOR EQUIPMENT IS LOCATED ON ROOF OR IN A PENTHOUSE. EQUIPMENT IS LOCATED IN THE SHAFT AND NOT ACCESSIBLE FROM THE ROOF.

ROOF IS NOT AN OCCUPIED ROOF, THEREFORE ROOF ACCESS IS PERMITTED FROM THE TOP STORY BY AN ALTERNATIVE TREAD DEVICE, SHIPS LADDER OR PERMANENT LADDER.

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07/02/24	ELEVATION REVISIONS
08/16/24	PLANNING REVISIONS
09/25/24	PLANNING REVISIONS



1 PROPOSED SOUTH EXTERIOR ELEVATION (ROUTE 202)  
 SCALE: 1/8" = 1'-0" NOTES



2 PROPOSED EAST EXTERIOR ELEVATION (LOCUST AVENUE)  
 SCALE: 1/8" = 1'-0" NOTES

CLIENT:  
**KPB PROPERTIES LLC**

PROJECT:  
**CORTLANDT SELF STORAGE  
 3 LOCUST AVENUE  
 CORTLANDT, NY**

SEAL & SIGNATURE

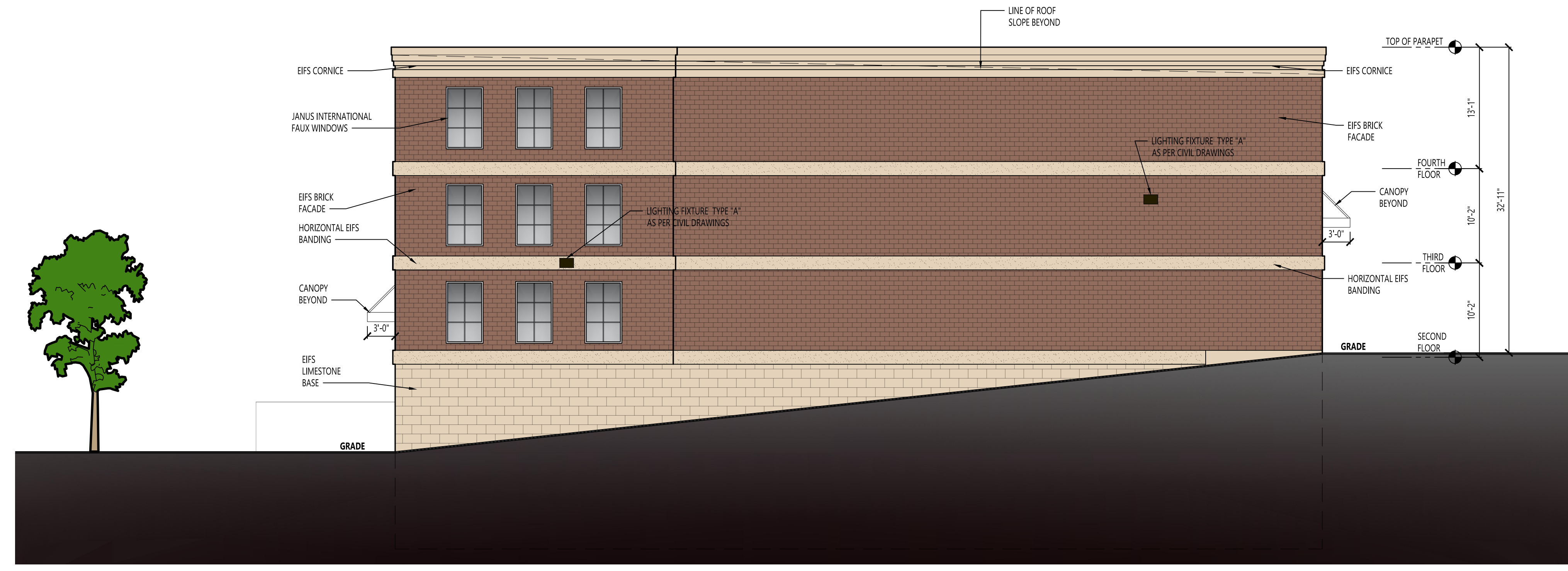
REGISTRATION EXPIRES: 10/31/2026

DATE: 05/8/23  
 PROJECT No. 23032C  
 DRAWING BY: D.R.  
 CHK BY: J.N.  
 SHEET NUMBER:  
 TITLE DRAWING:

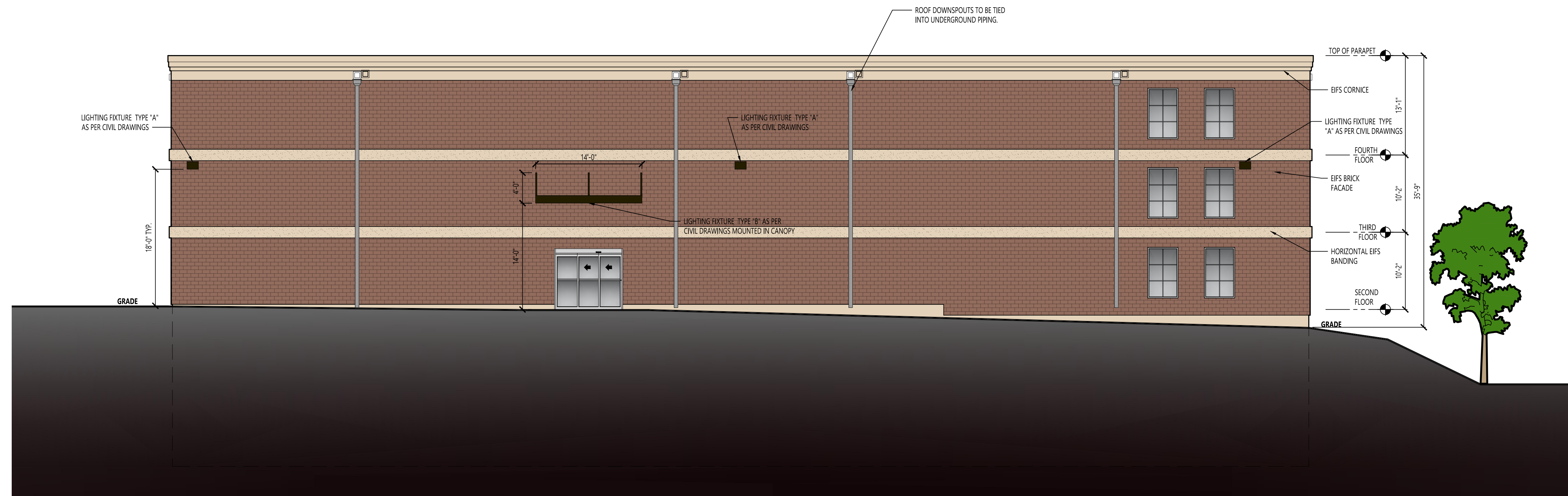
**EXTERIOR  
 ELEVATIONS**

**A-200**





**1 PROPOSED NORTH EXTERIOR ELEVATION**  
 SCALE: 1/8" = 1'-0" NOTES



**2 PROPOSED WEST EXTERIOR ELEVATION**  
 SCALE: 1/8" = 1'-0" NOTES

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ISSUE DATE	COMMENT
02/02/24	TOWN BOARD SUBMISSION
03/27/24	PLANNING BOARD
07/02/24	ELEVATION REVISIONS
08/16/24	PLANNING REVISIONS
09/25/24	PLANNING REVISIONS

CLIENT:  
**KPB PROPERTIES LLC**

PROJECT:  
**CORTLANDT SELF STORAGE  
 3 LOCUST AVENUE  
 CORTLANDT, NY**

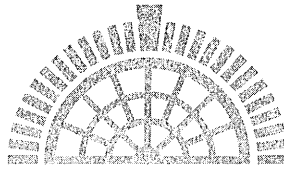
SEAL & SIGNATURE

REGISTRATION EXPIRES: 10/31/2026

DATE:	05/8/23
PROJECT No.	23032C
DRAWING BY:	D.R.
CHK BY:	J.N.
SHEET NUMBER:	

TITLE DRAWING:  
**EXTERIOR  
 ELEVATIONS**

**A-201**



SINGLETON, DAVIS & SINGLETON PLLC

ATTORNEYS AT LAW

THOMAS J. SINGLETON, 1930-2015  
ROBERT F. DAVIS  
WHITNEY W. SINGLETON\*  
ALEXANDER D. SALVATO

\* ALSO MEMBER CONNECTICUT & FLORIDA BARS

120 EAST MAIN STREET  
MOUNT KISCO, NY 10549

914.666.4400  
FAX: 914.666.6442  
WWW.SDSLAWNY.COM

September 16, 2024

Hon. Richard H. Becker, Supervisor  
and Members of the Town Board  
Town Hall  
1 Heady Street  
Cortlandt Manor, NY 10567

Hon. Steven Kessler, Chairman and  
Members of the Planning Board  
Town Hall  
1 Heady Street  
Cortlandt Manor, NY 10567

*Re: Petition of 3 Locust LLC – Self-Storage Proposal – Zoning Amendment for CC Zone  
Planning Board Public Hearing – September 10, 2024*

Dear Supervisor Becker, Chairman Kessler  
and Members of the Town and Planning Boards:

As you know, our Firm represents GM Personal LLC, the owner of property on Route 202/Crompond Road, located near the old Toddville School site at 3 Locust Avenue. This letter is in furtherance of my letter of August 22, 2024, which was received and referenced by the Planning Board at its September 10, 2024 meeting.

At that meeting, in response to our request in my August 22<sup>nd</sup> letter that the minimum lot size of 40,000 square feet, set forth in the proposed self-storage amendment for the CC Zone be reduced slightly to accommodate our client's property, the Planning Board, based on Member Bianchi's comment, asked staff to write a memo recommending to the Town Board that the minimum lot size remain at 40,000 square feet. For the reasons set forth in my August 22<sup>nd</sup> letter, we respectfully object and reiterate our request that the Town Board adopt the amendment, with just a small downward adjustment of the minimum lot size requirement, to no greater than 38,000 square feet.

Also, at the September 10<sup>th</sup> meeting, Chairman Kessler, in a comment also apparently to be recommended by the Planning Board via a staff memo to the Town Board, suggested that the Town Board include in the prospective zoning amendment, a requirement that any two self-storage uses in the affected CC Zone be at least a certain distance apart. We respectfully, but strongly, object to any such additional requirement. The Chairman's comment was directed at our client's property, which is located approximately 220 feet from the Toddville School site for which the amendment was initiated.

Hon. Richard H. Becker, Supervisor  
and Members of the Town Board  
September 16, 2024  
Page 2

Hon. Steven Kessler, Chairman and  
Members of the Planning Boards

Initially, as self-storage use has been acknowledged by all to be a very low impact use, and in this case, is to be limited to properties in the CC Zone on a State Highway, Route 202, there is no legitimate basis for any such separation requirements. To the best of our knowledge, the only other instance in the Zoning Code where there is a distance requirement between uses of the same type is for "adult entertainment" uses, because such uses, unlike self-storage, are deemed to have uniquely significant impacts. Any concern as to two self-storage uses being in close proximity to each other may be addressed by the Planning Board in the context of its special permit and site plan review.

Further, as with the 40,000 minimum lot square foot requirement, any requirement with respect to distance of separation, which would eliminate the qualification of our client's property for self-storage use without necessity of variances, would effectively grant an "exclusive" for the benefit of one property owner, and arguably therefore, constitute improper "spot zoning". Such a requirement is effectively anti-competition and in this case, the proximity of such low impact uses should be left to free market forces.

In sum, we respectfully request that the Board reduce the minimum lot area requirement in the prospective amendment, by at least enough to include our client's property, and refrain from imposing any distance separation requirement for self-storage uses in the CC Zone.

Thank you for your kind consideration.

Respectfully submitted,



Robert F. Davis

RFD:dds  
Enclosure

C: Thomas F. Wood, Esq., Town Attorney  
Michael Cunningham, Esq., Deputy Town Attorney  
Chris Kehoe, AICP, Director, Department of Planning & Community Development  
Mr. Pietro Poccia  
Ralph Mastromonaco, P.E.



# TOWN OF CORTLANDT PLANNING BOARD

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Town Hall, 1 Heady Street  
Cortlandt Manor, NY 10567  
Main #: 914-734-1080  
Fax #: 914-788-0294

Planning Staff email:  
chrisk@townofcortlandt.com

**Town Supervisor**  
Richard H. Becker, MD

**Town Board**  
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Francis X. Farrell  
Cristin Jacoby  
Robert Mayes

## MEMORANDUM

**TO:** Supervisor Richard H. Becker  
Members of the Town Board

**FROM:** Steven Kessler *SK*  
Chairman, Planning Board

**DATE:** September 18, 2024

**RE:** Robert Davis, Esq. Letter  
Proposed Modifications to Proposed Zoning Text Amendment – Self Storage Special Permit  
CC, Zoning District – Route 202

The Planning Board received a letter from Robert Davis, Esq. dated August 22, 2024 requesting the Town Board and Planning Board consider modifications to the dimensional requirements within the proposed text amendment being considered by the Town Board permitting self-storage facilities in the CC, community commercial zoning district on Route 202. Mr. Davis represents a landowner interested in a self-storage facility on a vacant parcel of land containing 38,238 sq. ft. on Route 202 SBL (34.5-2-4). The lot is located near 3 Locust Avenue, the old Toddville School, that is currently pending before the Planning Board (PB 2024-1) for site plan approval for a self-storage facility. As you know the proposed text amendment that the Town Board is considering requires a minimum lot size of 40,000 sq. ft. for a self-storage facility. Mr. Davis is requesting that the minimum lot size be reduced to 35,000 sq. ft. which will permit his client's property to be eligible to apply for a special permit.

The Planning Board discussed this at their meeting on September 10, 2024 and recommends to the Town Board that the minimum lot size be kept at 40,000 sq. ft. If an applicant does not have 40,000 sq. ft. they can apply to the Zoning Board of Appeals for a variance. Also, the Planning Board wanted the Town Board to consider a minimum distance requirement between self-storage facilities. The parcel represented by Mr. Davis is approximately 225 ft. from 3 Locust Avenue (PB 2024-1) and the Planning Board was concerned with having two facilities in such close proximity.

cc: Thomas J. Wood, Esq., Town Attorney  
Michael Cunningham, Esq., Deputy Town Attorney  
Laroue Shatzkin, Town Clerk  
Members of the Planning Board

**Submission Form to the Westchester County Planning Board  
For Planning and Zoning Referrals Requiring Notification Only**

County Reference Number CTD N24-001

The Westchester County Planning Board has predetermined that certain categories of planning and zoning applications are matters for local determination only. For any application listed below, submission of this completed form will satisfy the requirement of NYS General Municipal Law and the Westchester County Administrative Code that the local board provided adequate notification to the county Planning Board in accordance with Planning Board procedures. No other material need be sent. Upon receipt, the county Planning Board will complete the bottom section of this form and return it to you for your records to indicate compliance with referral requirements.

When completed, save this form as a .pdf file and e-mail to: [muniref@westchestergov.com](mailto:muniref@westchestergov.com) or print and fax to (914) 995-3780.

**Please note: All applications given a positive declaration pursuant to SEQR must be referred as a complete application. Do not use this form.**

Municipality: Town of Cortlandt

Referring Agency (check one):

- Planning Board or Commission  
 Zoning Board of Appeals  
 City or Common Council/Town Board/Village Board of Trustees

Application Name and Local Case Number: PB 2024-3, Briga Enterprises and Bilotta Realty

Address: 2099 Albany Post Rd. (Route 9A)

Section: 55.19 Block: 1 Lot: 3

Submitted by (Name and Title): Chris Kehoe, AICP, Director of Planning & Community Development

E-mail address or fax number: chrisk@townofcortlandt.com

The above-referenced application qualifies for the notification-only procedure to the county Planning Board because it falls within the category of action checked below:

- Zoning Area Variance** to decrease front yard setback, decrease minimum street frontage or decrease average lot width for property abutting a state or county road or park.
- Special Use Permit or Use Variance** to allow less than 5,000 square feet of new or renovated floor area and less than 10,000 square feet of land disturbance.
- Site Plan** to allow less than 5,000 square feet of new or renovated floor area and less than 10,000 square feet of land disturbance on property within 500 feet of:
- The boundary of a city, town or village
  - The boundary of an existing or proposed state or county park, recreation area or road right-of-way
  - An existing or proposed county drainage channel line
  - The boundary of state- or county-owned land on which a public building or institution is located or
  - The boundary of a farm located in an agricultural district.

Do not write below this line.

Date received by the Westchester County Planning Board: 9/16/24

Notification acknowledged by (name and title): Michael Vernon, Associated Planner

The Law Offices of  
**Vincent Gelardi**  
800 Westchester Avenue, Suite S-608  
Rye Brook, New York 10573  
Tel: 914-251-0603  
Fax: 914-253-0909  
[vg@vincentgelardi.com](mailto:vg@vincentgelardi.com)

September 24, 2024

VIA FEDERAL EXPRESS

Hon. Steven Kessler  
Chairman of the Town of Cortlandt Planning Board  
and Members of the Board  
1 Heady Street  
Cortlandt Manor, New York 105667

Re: Application Number PB 2024-3, Bilotta Realty of Westchester, Inc.  
2099 Albany Post Road (Section 55.9 Block 1 Lot 3)

Dear Chairman Kessler and Members of the Planning Board:

On September 5, 2024, Ralph G. Mastromonaco filed a submission with the Cortlandt Town Planning Board in which he alleged numerous violations concerning the site located at Albany Post Road, owned and operated by Bilotta Realty, Briga Enterprises, and Dakota Realty [hereinafter referred to as "Bilotta"].

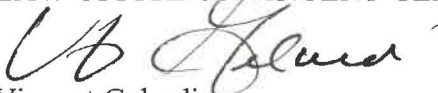
The photos you were provided with as part of the submission were taken without the authorization of my client.

It contains materials and relies on information which was obtained by measures that were an invasion of privacy and in violation of the owners' rights and therefore, should not be considered.

I have enclosed a letter forwarded to Mr. Mastromonaco which details my client's concerns.

Very truly yours,

LAW OFFICE OF VINCENT GELARDI

  
Vincent Gelardi

VG:dc

cc: Thomas F. Wood, Town Attorney  
Michael J. Cunningham, Deputy Town Attorney



The Law Offices of  
**Vincent Gelardi**  
800 Westchester Avenue, Suite S-608  
Rye Brook, New York 10573  
Tel: 914-251-0603  
Fax: 914-253-0909  
[vg@vincentgelardi.com](mailto:vg@vincentgelardi.com)

September 24, 2024

VIA FEDERAL EXPRESS  
Ralph G. Mastromonaco  
2083 Albany Post Road #3  
Montrose, New York 10548

Re: Bilotta Realty, Briga Enterprises, Dakota Realty  
Property at: 2099 Albany Post Road Montrose, NY

Dear Mr. Mastromonaco:

On September 5, 2024, you filed a submission with the Cortlandt Town Planning Board in which you alleged numerous violations concerning the site located at Albany Post Road, owned and operated by Bilotta Realty, Briga Enterprises, and Dakota Realty [hereinafter referred to as "Bilotta"].

Some of your allegations detail purported violations based on aerial photographs which were submitted with your letter to the Board [#5.,14 and 15] and taken without the authorization of my client.

The surveillance was conducted without the knowledge of the landowner and was apparently done by use of a drone.

Bilotta Realty has never authorized operation of drones above its property.

No notice was provided nor at any time did anyone make my client aware that it was your intention to use these unauthorized photos to be part of a submission to the Cortlandt Town Board.

I reiterate that my client has and maintains a reasonable expectation of privacy on its property and does not nor has it ever authorized surveillance of its property or agreed to photographs of its site without its knowledge or consent.

In as much as this submission contains material, which was not authorized, it should be withdrawn.

My client reserves the right to proceed with legal action for a violation of its privacy rights and reserves the right to initiate legal action for any damages which arise from the unauthorized willful submission to the Town Board.

Very truly yours,

LAW OFFICE OF VINCENT GELARDI

  
Vincent Gelardi

VG:dc



September 25, 2024

**OpenGov Online Application Portal**

Hon. Steven Kessler  
Chairman of the Town of Cortlandt Planning Board  
and Members of the Board  
1 Heady Street  
Cortlandt Manor, New York 10567

**Re: Elrac LLC d/b/a Enterprise Rent-a-Car (PB 2024-5)  
2077 E Main St (U.S. Route 6) (SBL 24.13-3-47)**

Dear Chairman Kessler and Members of the Planning Board:

As you are aware, our firm, together with John J. Gilchrist Architect, represents Elrac LLC (d/b/a Enterprise Rent-a-Car) in connection with the above-referenced amended site development plan application for the removal of a temporary car port and the addition of a permanent wash bay to the existing Enterprise office building (the “Project”). We ask that this Application be added to the Planning Board’s October 1<sup>st</sup> meeting agenda for (i) a continued review of the Application, (ii) the scheduling of a site visit, and (iii) the scheduling of a public hearing.

As presented at the September 10<sup>th</sup> Planning Board meeting, the Applicant proposes to improve existing conditions on the Property by relocating its vehicle cleaning and inspection to a proposed permanent wash bay structure, thereby increasing existing the rear yard setback and fully enclosing the vehicle cleaning operations. In response to the comments of the Board and its staff, below is a summary of the vehicle cleaning operations and the noise generated from such operations. In addition, in response to the September 20, 2024 Planning Department staff and September 23, 2024 LaBella memoranda, we enclose a revised Site Plan set and photographs of the Property.

**Business Operations:**

The Project would positively impact Enterprise’s operations by (i) creating a more efficient vehicle cleaning and inspection process, (ii) reducing the decibel (“dB(A)”) level from the vehicle cleaning operations, and (iii) creating a cleaner, more attractive site. Enterprise’s vehicle cleaning operations using the proposed wash bay include the following:

1. Vehicles are cleaned during normal business hours, which are 7:30 a.m. to 6 p.m. Monday through Friday, and 9 a.m. to 12 p.m. Saturday and Sunday. Occasionally, vehicles are inspected and cleaned up to 1 hour after close.
2. On average, 15 to 20 vehicles are cleaned per day, each vehicle taking approximately 15 to 20 minutes to clean and inspect. On average, the vacuum and power washing equipment run for a combined 6 to 8 minutes per vehicle.
3. The number of employees on a maximum shift is between 3 and 5, with 1 to 2 employees cleaning and inspecting vehicles at a time (only 1 vehicle is cleaned at a time).

**Noise:**

The noise generated from the Property would not exceed levels permitted by Town Code and would *improve* over existing conditions. Currently, Enterprise cleans vehicles between uses in a temporary carport structure that is open on all sides and located 8 feet from the Property's rear boundary line (*see* enclosed site photos; *see also* Site Plan). This Project would remove the temporary carport structure and relocate the vehicle cleaning operations to a proposed wash bay that is constructed as a permanent, fully enclosed addition to the existing Enterprise retail office building. The cleaning equipment used, including relevant decibel levels according to the manufacturers, include the (i) Karcher HD 2.8/10 St Ed B Power Washer – 80 dB(A), (ii) California Air Tools 20020 Ultra Quiet & Oil Free Air Compressor - 70 dB(A), and the (iii) Industrial Vacuum Systems Model 100002 Commercial Vacuum w/ Poly Dome/Amtek Acustek motor - 75 dB(A).

As noted above, the maximum decibel level of the equipment to be used is 80 dB(A) as measured within 10 feet and without barrier. The Applicant would solely use this equipment inside the fully enclosed wash bay, thus significantly muffling the noise generated by the equipment. In addition, the wash bay would be located 12.8 feet and 15 feet from the Property's side and rear yard boundaries, respectively, and the Property boundaries are screened with a fence and landscaping. Further, ambient noise levels are raised as the Property fronts East Main Street/U.S. Route 6, a 40 mph four-lane roadway, generating significant ambient noise from vehicles.

Accordingly, given the above, the decibel levels are not expected to exceed 65 dB(A)'s - the maximum level permitted by Town Code, as measured from the Property's boundary lines, and in any event, noise generated by Enterprise's operations is not expected to significantly exceed ambient noise levels for the area or otherwise be atypical of businesses in the HC District.<sup>1</sup>

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<sup>1</sup> See Town Code § 197-15 ("Noise levels within any commercial/retail-zoned districts shall not exceed sixty-five (65) dB(A)'s and shall conform in all respects to the performance standards set forth in Chapter 307, Zoning"); *see also* Town Code § 197-13 ("The measurement of any sound or noise shall be made with a sound-level meter using an A-scale decibel level," and "the measurement shall be conducted at the property line on which such noise is generated or perceived, whichever is appropriate in a residential district, or at the boundary lines of the receiving land use district.").

**Conclusion**

We look forward to appearing before your Board at the October 1<sup>st</sup> Planning Board work session and meeting. In the meantime, if you have any questions or require any further information, please do not hesitate to contact us.

Respectfully submitted,

ZARIN & STEINMETZ LLP

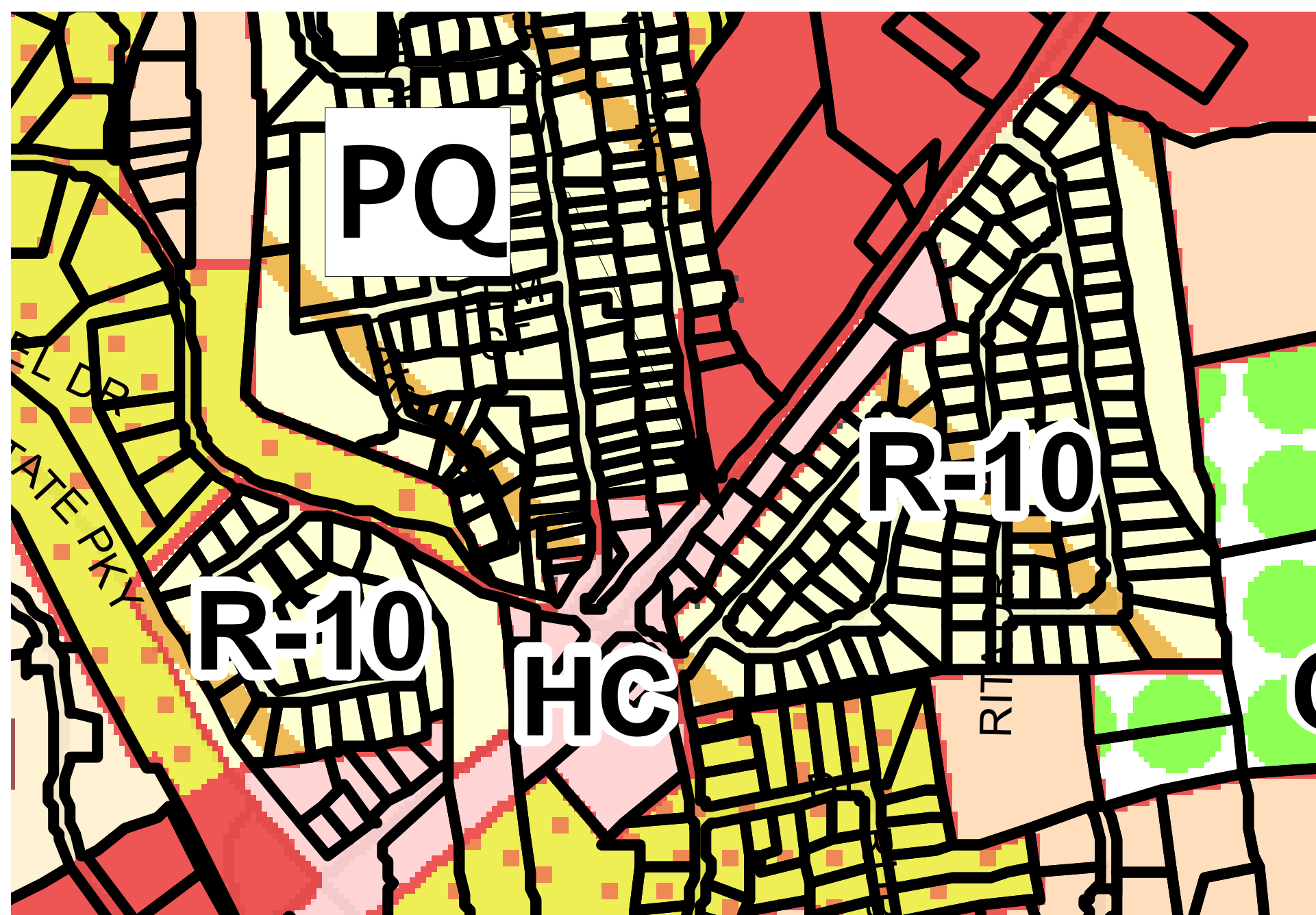
By:   
\_\_\_\_\_  
David S. Steinmetz  
Brian T. Sinsabaugh

Enclosures.

Cc: *(via email)*

Chris Kehoe, AICP, Dir. of Planning & Community Development  
Heather LaVarnway, CNU, Planner  
Michael Cunningham, Deputy Town Attorney  
John J. Gilchrist Architect  
Elrac LLC  
Iaropoli Construction Inc.





Zoning Map



Site Location Plan

Zoning Schedule			
HC Highway Commercial District	Ordinance	Existing	Proposed
Use: Automotive rental	permitted	permitted	not changed
Minimum Lot Area	20,000	16,893	not changed
Minimum Lot Width	100	190	not changed
Maximum Height	2 1/2 st 35'	1 st 20'	not changed
Required Front Yard	30	12.6	not changed
Required Side Yard	30	12.4	not changed
Required Rear Yard	30	8.3	15
Maximum Building Coverage	20%	7.5%	10.1%
Minimum Landscape Coverage	30%	34.2%	35.9%
Buffer to ROW	25	0	not changed
Residential District Buffer	50	8.3	15

V Variance required

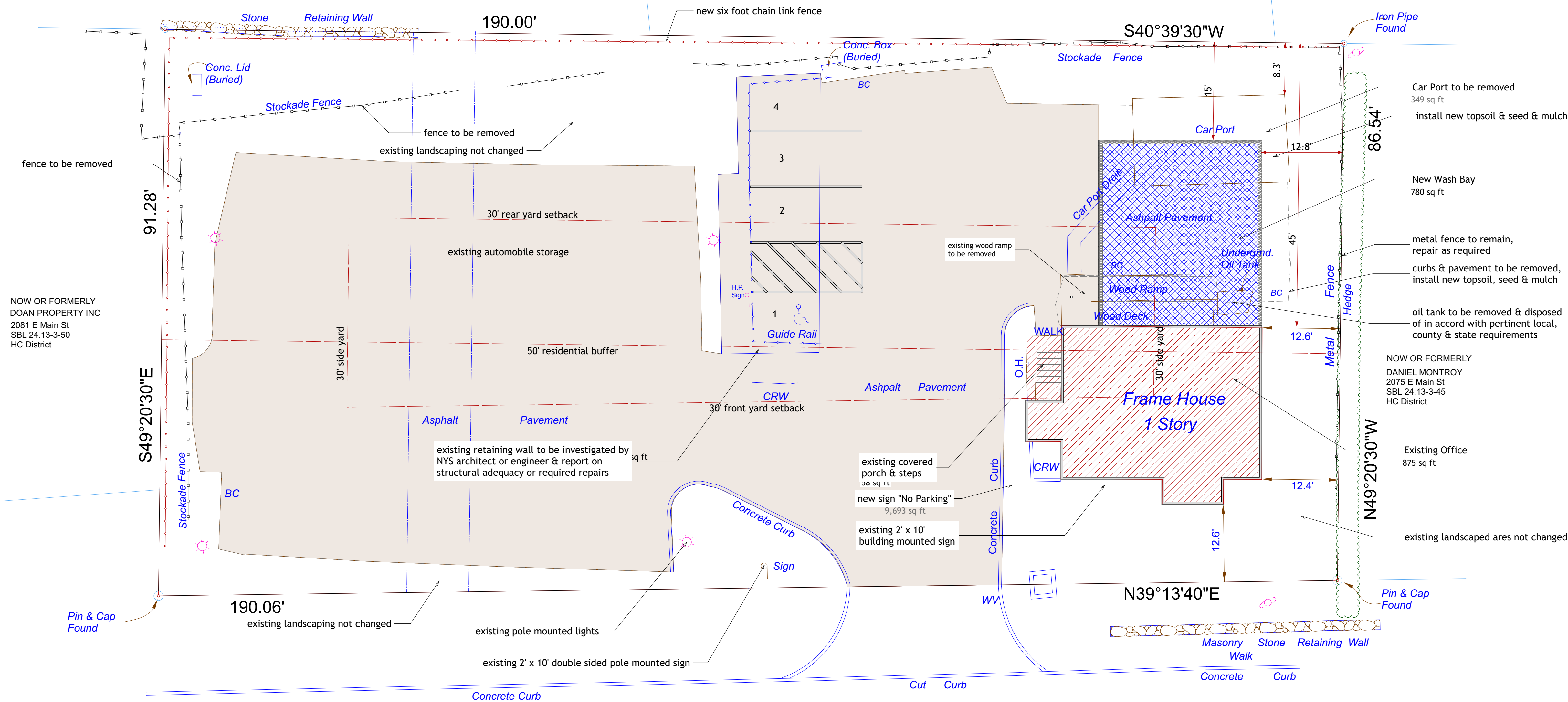
	Building Area		
	Office	863	863
	Covered Porch	58	58
	Car Port	349	0
	Wash Bay		780
	<b>Total Building Coverage</b>	<b>1,270</b>	<b>1,701</b>
			<b>431</b>
	Paved Parking Area	9,848	9,130
	<b>Total Impervious</b>	<b>11,118</b>	<b>10,831</b>
			<b>-287</b>
	Landscaped Area	5,775	6,062
			<b>287</b>

Parking @ 1/300 sf (Retail) 3 required 4 4

NOW OR FORMERLY  
SONIA CORDERO  
8 Highland Dr  
SBL 24.13-3-48  
R-10 District

NOW OR FORMERLY  
BRIAN P & CHRISTI MC EVOY  
6 Highland Dr  
SBL 24.13-3-46  
R-10 District

NIF  
LAURA M. SELLAZZO  
4 Highland Dr  
SBL 24.13-3-44  
R-10 District



General Notes

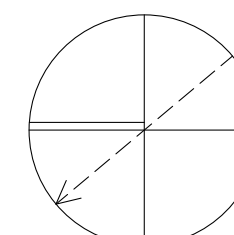
- Applicant acknowledges that all disturbed areas shall be 100% stabilized & planted prior to issue of Certificate of Occupancy;
- Applicant shall provide an as-built foundation survey to the Town of Cortland prior to framing;
- Prior to backfilling of any storm water piping, DOTS Engineering shall be notified to perform an inspection;
- All import fill must be tested & certified as unrestricted, suitable for residential use, in accordance with Town Policy. Certifications shall be addressed to Town's Planning Board Engineer. Soil analytics & reports shall be forwarded to the Town's Planning Board Engineer for review & approval;
- Prior to issuance of Certificate of Occupancy the Town will require a certification from and NYS Engineer that the completed site work & drainage improvements will not cause an adverse impact on adjoining downstream properties;
- Backflow prevention devices shall be designed & installed in accordance with University of Southern California List of Approved Backflow Prevention Devices, NYSDOH Guidelines for Designing Backflow Prevention Assembly Installations, and Building Code.

**EAST MAIN STREET**  
STATE HIGHWAY # 1309 U.S. ROUTE 6

Zoning Plan

Scale 1" = 10.0'  
0 5' 10' 20'

PLAN NORTH



Prepared with information taken from "Topographic Survey of Property Prepared for Enterprise Mobility Situate in the Town of Cortland Westchester County, New York" by INSITE Engineering, Surveying & Landscape Architecture P.C. dated July 9, 2024

JOHN J GILCHRIST ARCHITECT  
A Professional Corporation

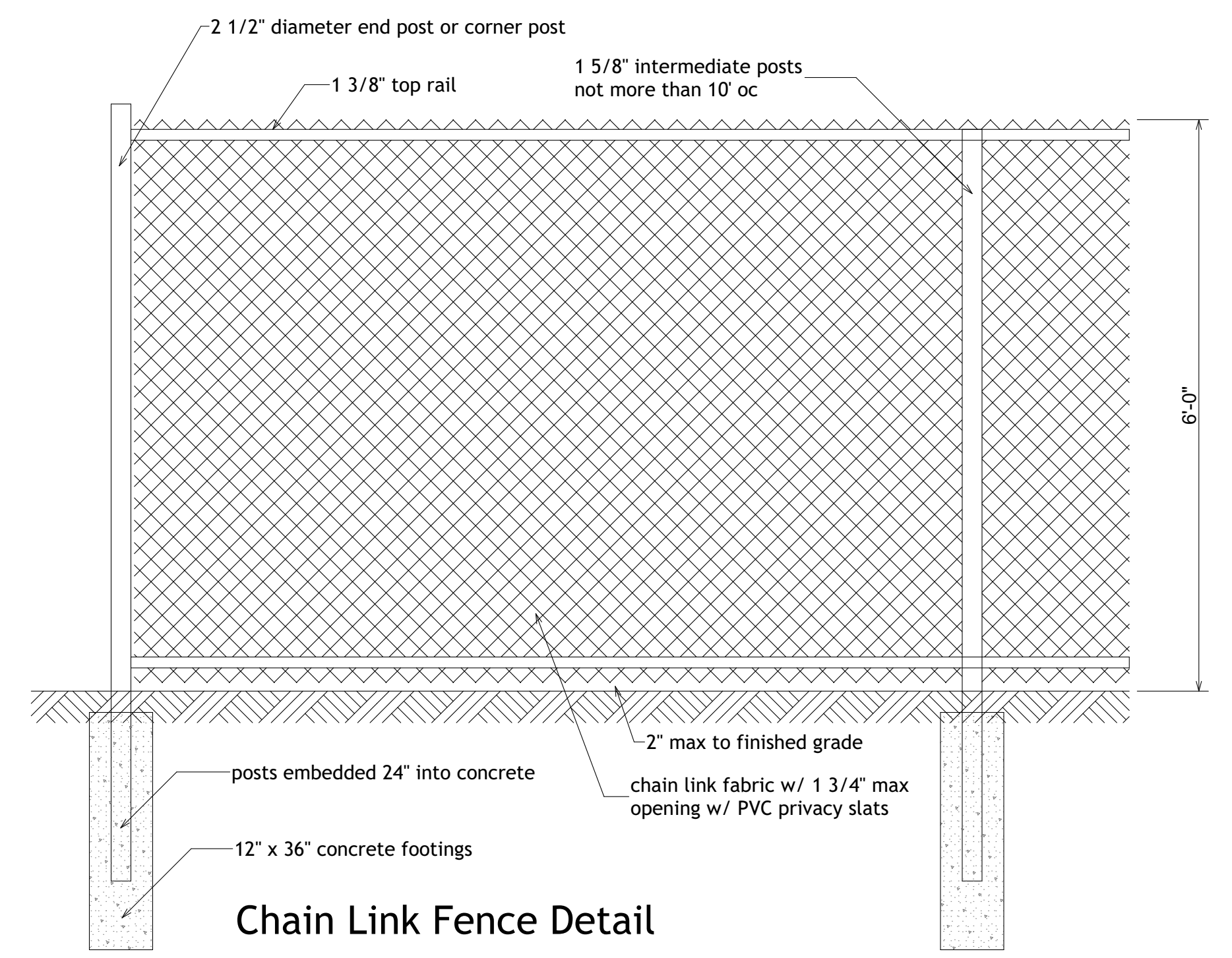
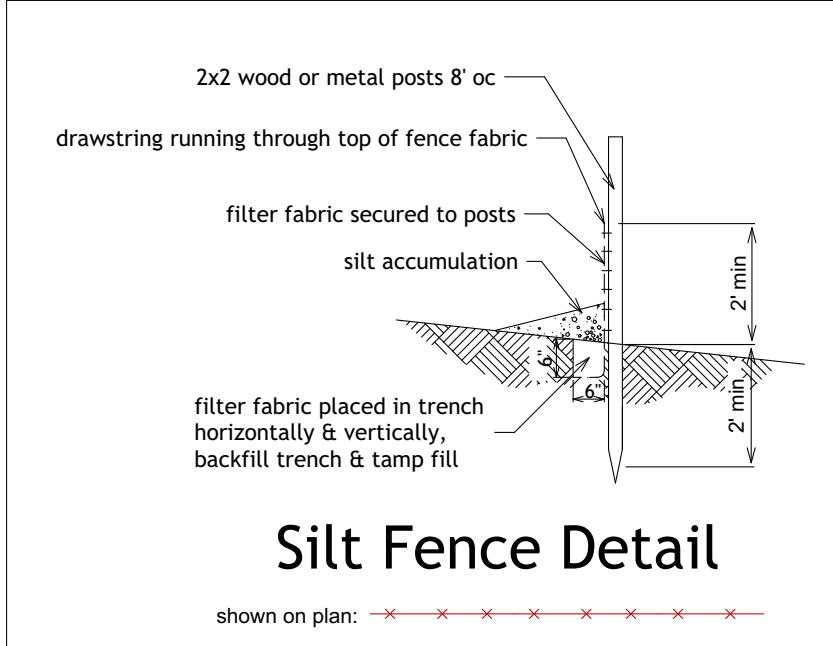
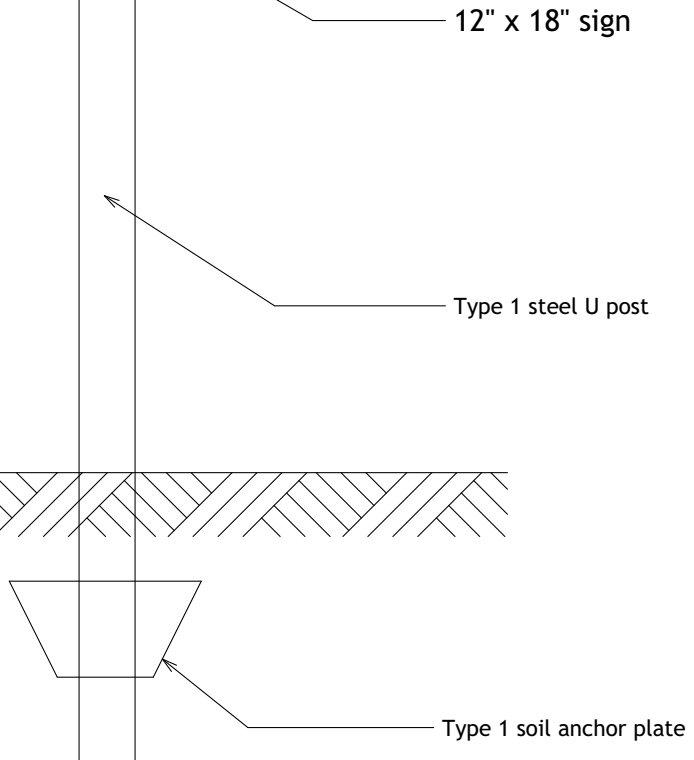
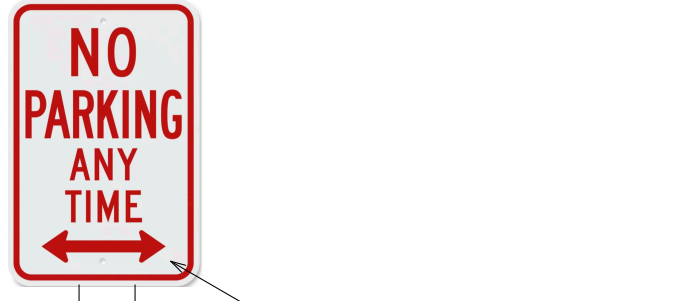
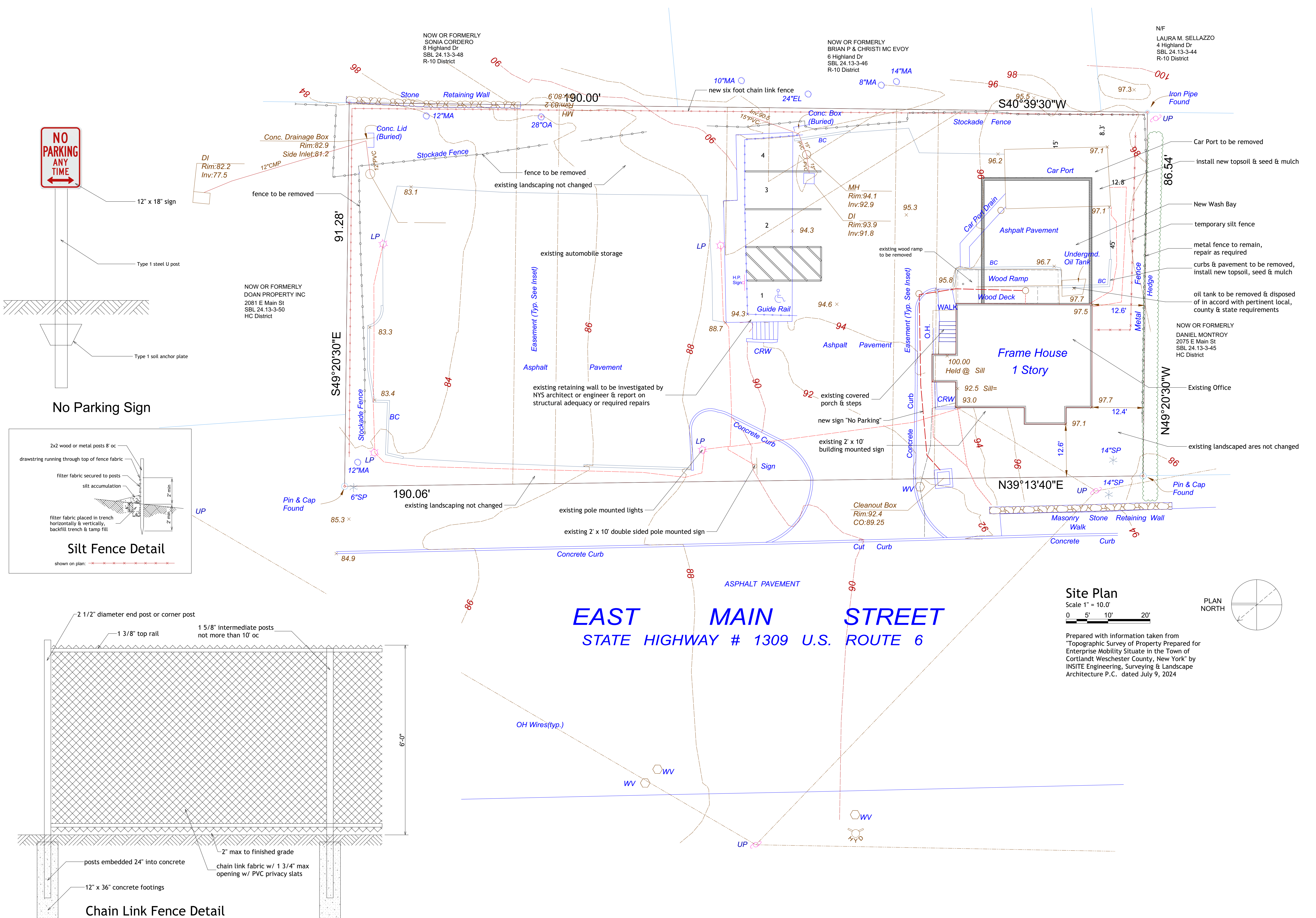
Date	Issue	Initial
9-24-24	revised per planning & engineering reviews	JJG
9-3-24	for review	JJG
8-13-24	for review	JJG

Car Wash Addition  
Enterprise Rent A Car  
2077 East Main Street  
Town of Cortland  
New York  
24.13-3-47

**Zoning Plan**

John J Gilchrist  
Architect  
A Professional Corporation  
8 Coach Lane  
Upper Saddle River  
New Jersey 07458  
Phone 201 573 1877  
JJGAPC@gmail.com





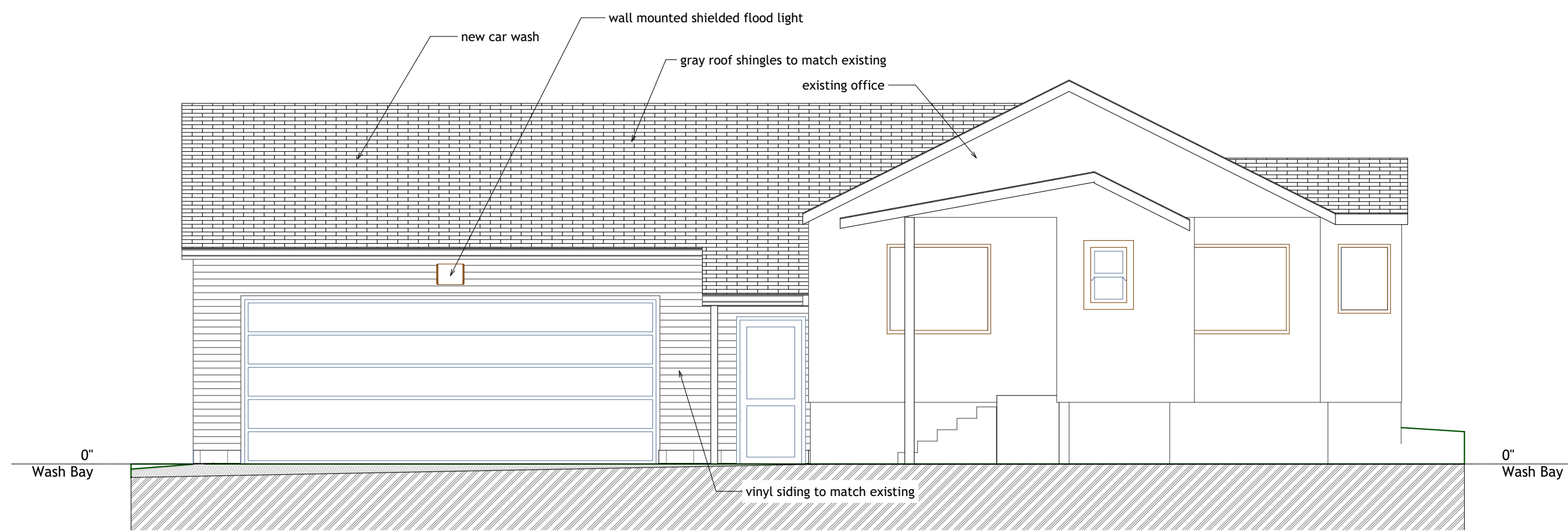
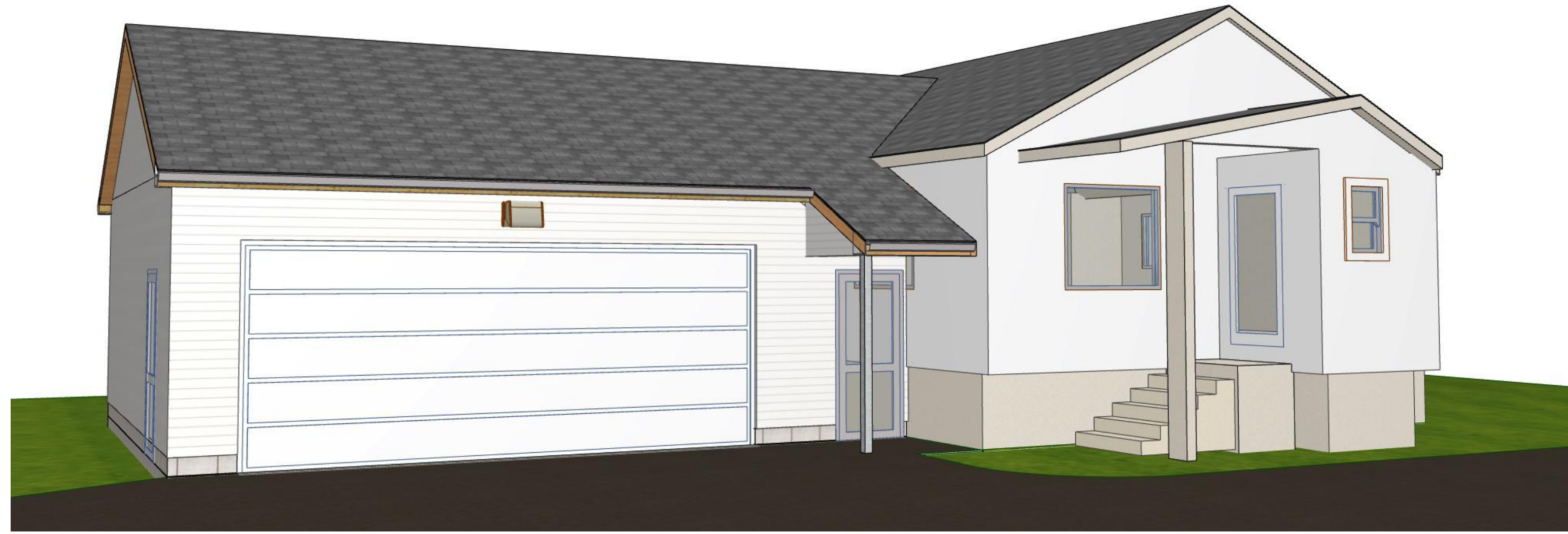
**Site Plan**  
Scale 1" = 10.0'  
0 5' 10' 20'  
Prepared with information taken from  
"Topographic Survey of Property Prepared for  
Enterprise Mobility Situate in the Town of  
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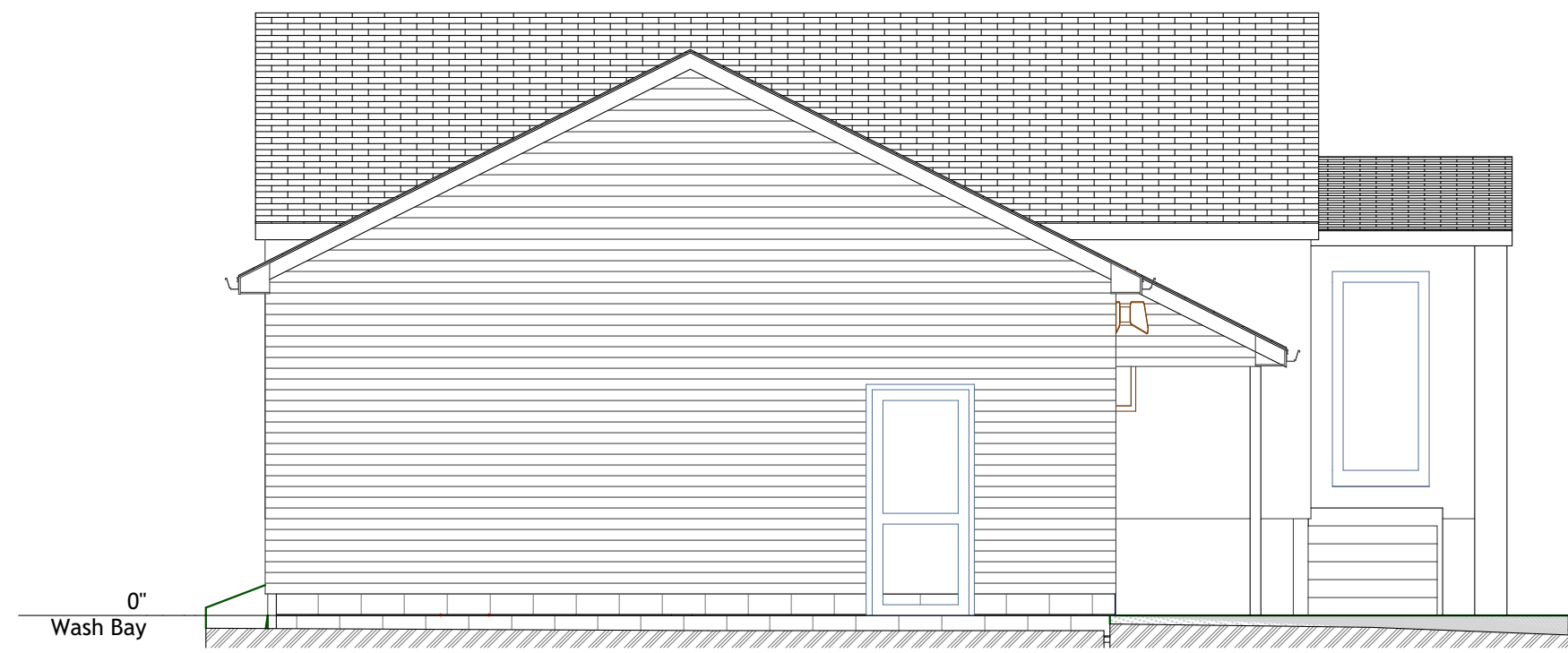
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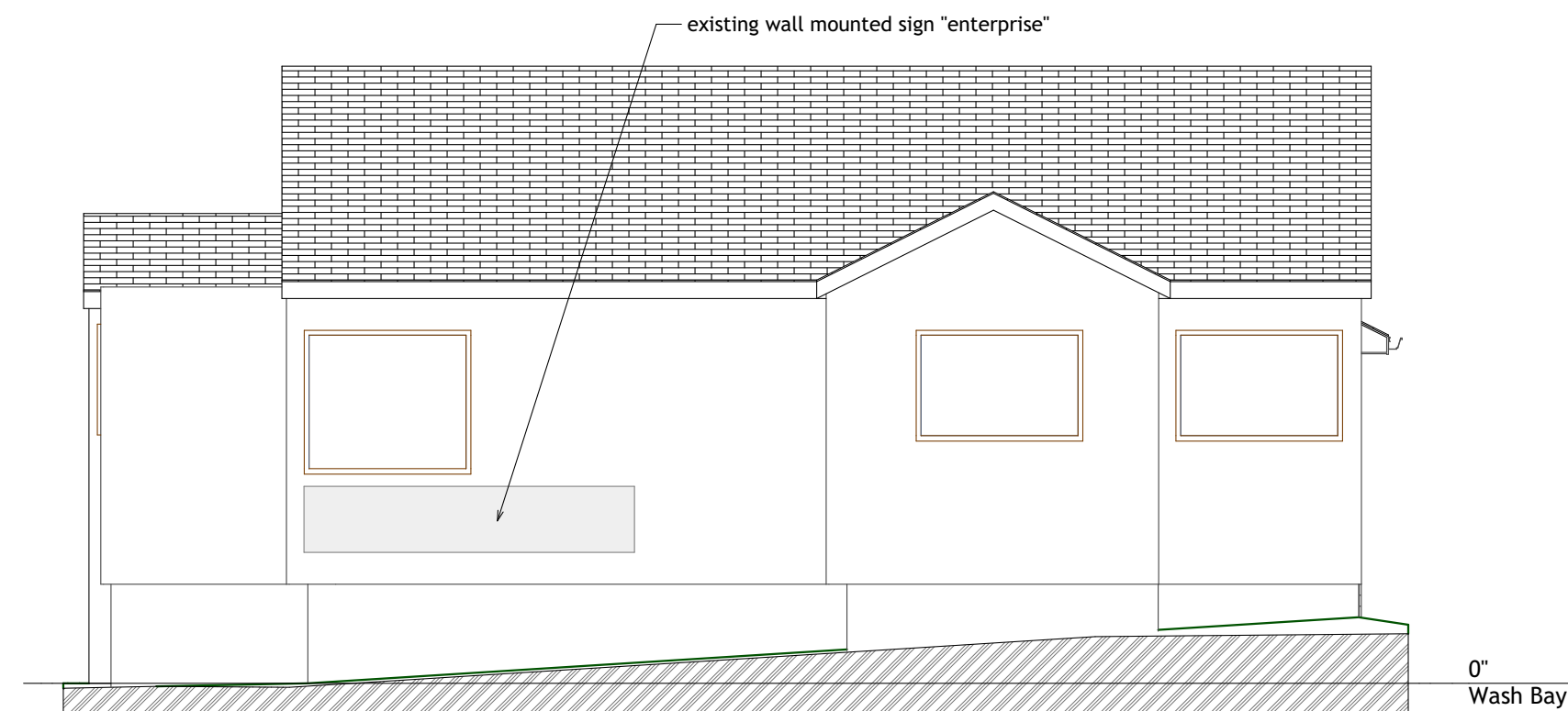




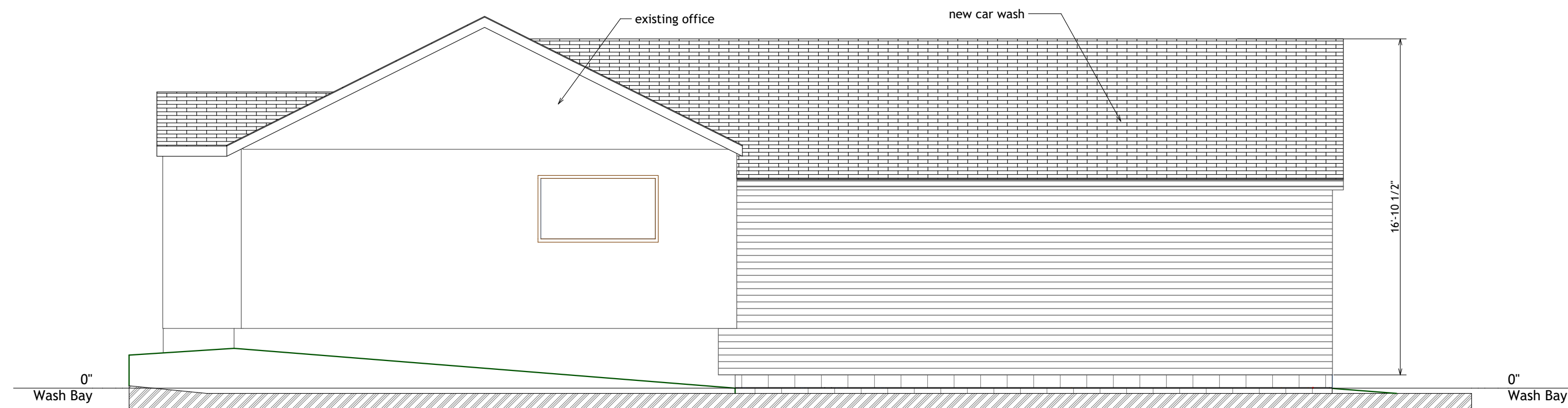
**North Elevation**  
SCALE: 3/16" = 1'-0"



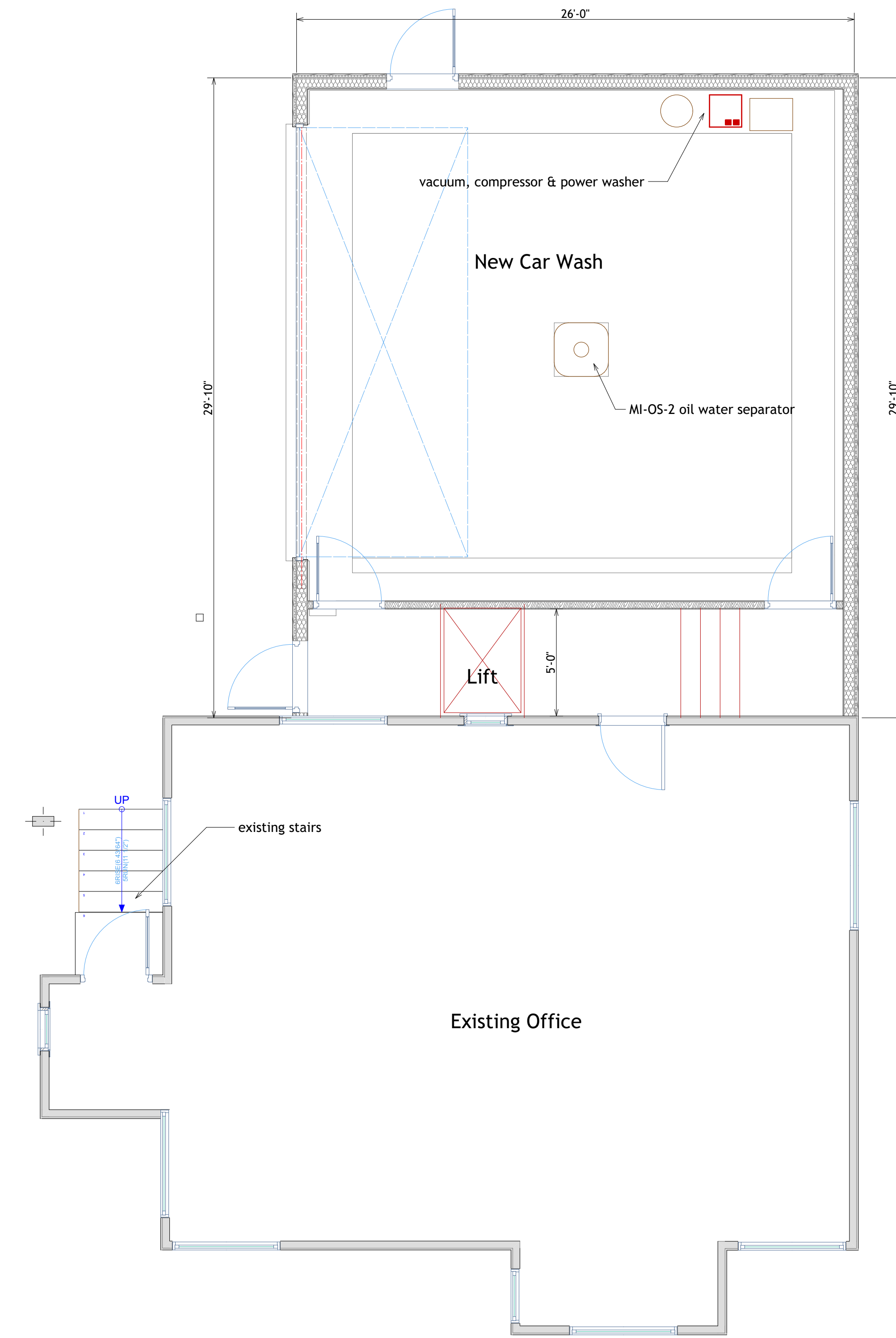
**East Elevation**  
SCALE: 3/16" = 1'-0"



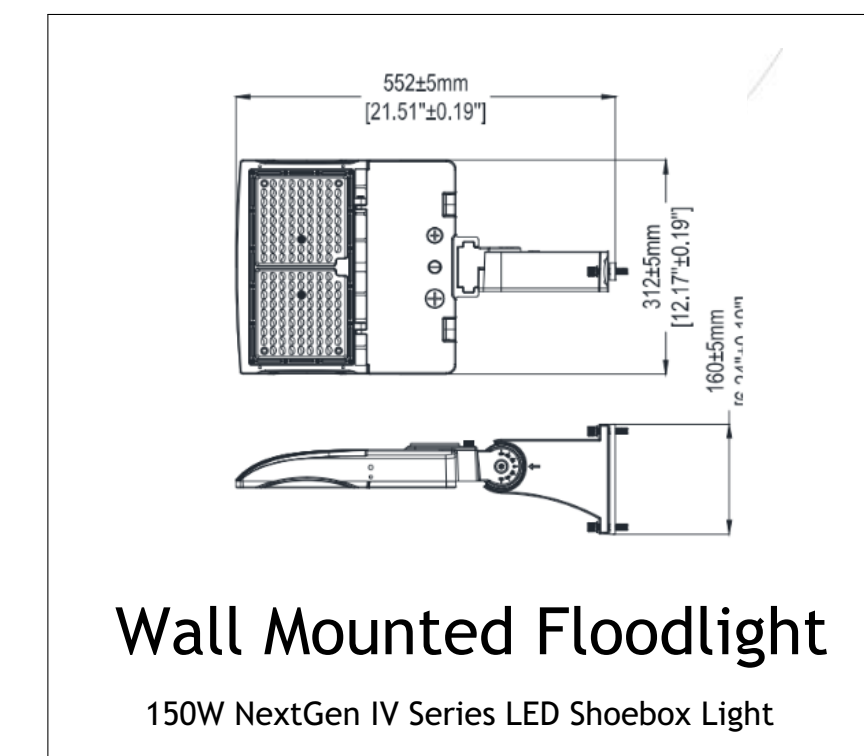
**West Elevation**  
SCALE: 3/16" = 1'-0"



**South Elevation**  
SCALE: 3/16" = 1'-0"



**Floor Plan**  
SCALE: 1/4" = 1'-0"

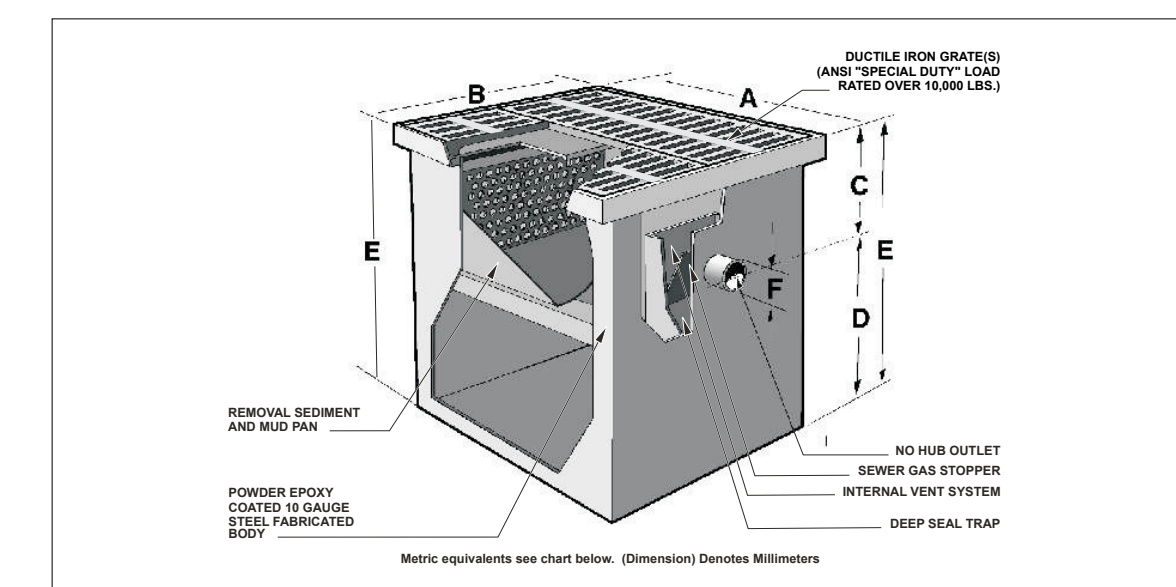


**Wall Mounted Floodlight**  
150W NextGen IV Series LED Shoebox Light



Specification: MIFAB® Series MI-OS (specify model) sanitary powder epoxy coated inside and outside fabricated 10 gauge sheet oil / sediment interceptor with sludge capacity of \_\_\_\_\_ lbs. (specify). Interceptor complete with ANSI rated "Special Duty" ductile iron grate(s) with load rating over 10,000 lbs., removable sediment bucket and mud pan, deep seal trap with integral sewer gas stopper, internal vent system, cleanout plug and side outlet.

Function: Used in service areas to receive wastewater with sediment and oil contaminants through the top grate(s). Sediment bucket and mud pan are designed to capture debris and prevent drain line clogging. Integral sewer gas stopper will prevent harmful gasses from entering via the outlet. Electrostatically applied powder epoxy coating ensures extra long life.



MODEL NO.	SLUDGE CAPACITY LBS.	GRATE FREE AREA SQ. IN.	NO. OF GRATES	A	B	C	D	E	F	LIQUID HOLDING CAP. U.S.G. CU. FT.	SHIPPING WEIGHT (lbs.)	WEIGHT WHEN FILLED WITH WATER (lbs.)	
MI-OS-1	12	48	1	24.375"	12.5"	4.0"	10.0"	10.0"	2"	12	1.8	140	221.00
MI-OS-2	60	120	2	24.375"	24.5"	7.625"	17.625"	25.25"	4"	40	6.13	300	594.00
MI-OS-3	100	262	3	36.625"	24.375"	11"	22"	33"	4"	77	10.25	445	1020.00
MI-OS-4	200	383	4	48.750"	24.375"	11"	22"	33"	4"	103	15.8	560	1334.00
MI-OS-5	300	524	8	48.750"	48.675"	11"	22"	33"	4"	193.33	29.7	600	1600.00

**JOHN J GILCHRIST ARCHITECT**  
A Professional Corporation

Date	Issue	Initial
9-24-24	revised per planning & engineering reviews	JJG
9-3-24	for review	JJG
8-13-24	for review	JJG

**Car Wash Addition**  
**Enterprise Rent A Car**  
2077 East Main Street  
Town of Cortland  
New York  
24.13-3-47

**Building Plan & Elevations**



**John J Gilchrist**  
**Architect**  
A Professional Corporation  
8 Coach Lane  
Upper Saddle River  
New Jersey 07458  
Phone 201 573 1877  
JJGAPC@gmail.com

## MEMORANDUM

TO: **Town of Cortlandt Planning Board**

FROM: **Christopher Lapine, P.E., LEED AP, LaBella Associates, DPC**

DATE: **September 23, 2024**

RE: **PB 2024-5 – 2077 E Main Street Elrac LLC dba Enterprise Rent-a-Car**

---

LaBella, has performed a review of the following documents prepared for Enterprise Rent a Car 2077 East Main Street, Cortlandt Manor, NY 10567, County of Westchester, New York 10567.

The following documents were resubmitted for our review:

- **Letter from Zarin and Steinmetz, dated September 4, 2024**
  1. **Sheet 1 of 2 – Site Plan - Car Wash Addition – Enterprise Rent a Car 2077 East Main Street, dated September 3, 2024**
  2. **Sheet 2 of 2 – Building Plan and Elevations, Car Wash Addition – Enterprise Rent a Car 2077 East Main Street, dated September 3, 2024**
- **Environmental Assessment Form, dated September 4, 2024.**

Our office offers the following comments:

### **Administrative**

1. Applicant shall be required to meet the standards set forth in Chapter 157 – Excavations and Topsoil Removal should publication of this chapter become available during the design process at the discretion of the Town Planning Board.
2. The Environmental Access Form indicates stormwater on-site will be conveyed to on-site stormwater management systems. Please identify the stormwater management systems on the plans.

### **Plans**

1. Sheet 1 of 2: Please provide parking requirements for the existing use.
2. Sheet 1 of 2: Please provide a tree protection detail and delineate the trees to be protected during construction.
3. Sheet 1 of 2: Existing asphalt is located within the confines of the existing car port to be removed. Please identify asphalt to be removed and revegetated with topsoil, seed, and mulch.
4. Sheet 1 of 2: Where will the discharge from the wash bay be conveyed to?
5. Sheet 1 of 2: Please provide the following notes:
  - a. The applicant is aware that the disturbed areas shall be 100% stabilized and



- b. planted prior to the issuance of a Certificate of Occupancy.
  - b. The applicant shall submit an as-built foundation survey to the Town of Cortlandt prior to framing.
  - c. Prior to the backfilling of any storm water best management practice, DOTS-Engineering shall be notified to perform an inspection.
  - d. All proposed import fill must be tested and certified as unrestricted, suitable for residential use in accordance with Town Policy. Certification must be provided by a licensed professional. All certifications shall be addressed to Town's Planning Board Engineer. All soil analytics and reports will be forwarded to the Town's Planning Board Engineer for review and approval.
  - e. Prior to the issuance of the Certificate of Occupancy (C.O.), the Town will require a certification from a NYS Engineer that the completed site work and drainage improvements will not cause an adverse impact to adjoining or downstream properties.
  - f. Backflow prevention devices shall be designed and installed in accordance with University of Southern California List of Approved Backflow Prevention Devices, NYSDOH Guidelines for Designing Backflow Prevention Assembly Installations, and Building Code.
6. Sheet 1 of 2: Sections of the existing on-site stockade fence are dilapidated and toppling over. Due to the age and intentions of the fence to serve as screen to the residential buffer, it is recommended the Planning Board request the on-site fencing be replaced.
  7. Sheet 1 of 2: Please provide a tax identification number of the parcel.
  8. Sheet 1 of 2: There is an existing underground tank in the vicinity of the proposed addition. Please provide procedures for the safe removal and disposal of the tank in accordance with local, county, and state laws.
  9. Sheet 1 of 2: Will temporary relocated parking be required for the 4-spaces adjacent to the office during the removal of the existing car port and construction of the new wash bay? If so, delineate the areas and provide an ADA route. If not provide the limits of disturbance on the plans and demonstrate adequate turning movements.
  10. Sheet 1 of 2: There are cracks and deterioration of the existing concrete retaining wall where the stairs and wall join. Provide a letter from an licensed NYS architect or engineer, indicating they have inspected the entire wall, and it is structurally sound and capable of supporting loads imposed on it. Additionally, provide details for mitigating the existing wall.
  11. Parking is currently taking place along the existing driveway (ingress side). Signs shall be provided prohibiting parking.
  12. Sheet 2 of 2: Depict proposed water connection for wash bay and provide design of backflow prevention device.
  13. Sheet 2 of 2: Provide details, maintenance procedures, and calculations for oil/water separator.
  14. Sheet 2 of 2: Provide noise level emissions to determine the decibels at the property line of the car wash.





# TOWN OF CORTLANDT

## DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT

Chris Kehoe, AICP Director

Planning Staff  
Heather LaVarnway, CNU-A  
Michelle Robbins, AICP  
Rosemary B. Lasher

Town Hall, 1 Heady Street  
Cortlandt Manor, NY 10567  
Main #: 914-734-1080

**Town Supervisor**  
Richard H. Becker, MD

**Town Board**  
James F. Creighton  
Cristin Jacoby  
Robert Mayes  
Joyce C. White

### MEMORANDUM

TO: Planning Board Members

FROM: Chris Kehoe, AICP, Planning Director *CK*  
Department of Planning & Community Development

Heather LaVarnway, CNU-A, Planner *HL*  
Department of Planning & Community Development

SUBJECT: **PB 2024-5** Application of Elrac LLC d/b/a Enterprise Rent-a-Car for Amended Site Development Plan approval for replacement of a temporary car port with a permanent wash bay, located at 2077 E. Main Street (US Route 6). Section 24.13, Block 3, Lot 47

DATE: September 20, 2024

The Planning Division conducted a review of revisions to the subject application consisting of the following items:

- *2-page set of drawings entitled "Site Plan" prepared by John J. Gilchrist, Architect, dated 9/3/24.*
- *Topographic survey prepared by Insite Engineering, Surveying & Landscape Architecture, P.S., dated 7/9/24.*
- *Short EAF prepared by Brian Sinsabaugh, Esq., dated 9/4/24.*
- *Letter prepared by Brian Sinsabaugh, Esq., dated 9/4/24.*

1. Based on a review of the above-mentioned drawing and application, the following information as required by Chapter 307-71 of the Town of Cortlandt (Zoning) and other regulations should be submitted for the subject application unless waived by the Planning Board at the applicant's request.

- a. The scale at which the drawing has been submitted makes it difficult to read. The drawing set shall be revised to include full sized site plan.
- b. Remove "\*\*\*" notation and footnote in Zoning Schedule and update the required buffer to reflect what is currently required by the Town. All district bulk requirements shall reflect current requirements.

- c. The applicant shall submit site photographs showing all building elevations and additional photographs showing nearby buildings on adjacent properties.
  - d. Existing and proposed lighting should be shown on the subject site plan.
  - e. The subject site plan shall be revised to show existing and proposed landscape areas with types of numbers of existing and proposed plantings.
  - f. The subject drawing shall show existing and proposed signage both wall signage and freestanding signages with dimensions.
  - g. The fence along the rear property line, both behind the building and along the parking area is dilapidated. The subject fence shall be repaired, reconstructed or replaced as necessary.
  - h. Note on the subject drawings the location of any proposed or existing vacuums or air pumps.
2. The applicant is proposing to remove an existing 349 sq. ft. car port that is used as a covering for a car wash bay and replace the temporary structure with a permanent 780 sq. ft. wash bay at the existing Enterprise Rent-a-Car facility located on Rt. 6. The Planning Board granted site plan approval for the Enterprise Facility by PB Res. 59-95 (attached). The Planning Board approved an amended site plan by motion for the car port in April 2012 (minutes attached). The applicant also received a variance from the Zoning Board of Appeals by Decision & Order 55-96 adopted on November 20, 1996 to reduce the required landscape buffer to Rt. 6 from 25' to 0'. The subject property of 16,893 sq. ft. is zoned HC, Highway-Commercial.
  3. As part of the original approval for the facility the Planning Board previously granted a waiver as per Section 307-23 b (4) to the required 50' buffer to the residential property to the south due to the narrow depth of the property, existing vegetation and the 6' high stockade fence.
  4. The existing car port is an accessory structure, not connected to the main building. The proposed wash bay will be an addition to the building and is required to meet the rear yard setback. 30' is required, 15' is proposed. The applicant shall speak to the Director of Code Enforcement and receive the required denial letter that will permit an application to the Zonings Board of Appeals.
  5. The application will be referred to the Town's Architectural Advisory Council (ARC) for review and comments on the proposed building elevations.
  6. The subject application is classified as an unlisted action pursuant to the New York State Environmental Quality Review Regulations. The applicant submitted Part One of the Short Environmental Assessment Form (attached) for the Board to use together with all information submitted with this application to evaluate what, if any, significant environmental impacts may result from the proposed project.
  7. Enclosed are aerial view(s) of the subject site. A site plan drawing was transmitted to members of the Planning Board at the time the application was submitted.

8. Referrals of this application include, the Town Code Enforcement Division, the Town ARC, the CAC and the Fire Advisory Board.
9. Additional comments may be forthcoming from the Planning Board Engineer.

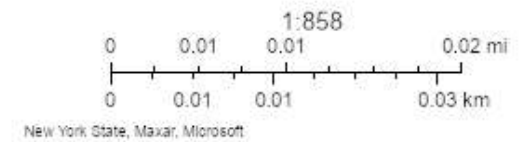
CRK/HL  
attachments

cc: Dr. Richard H. Becker, Town Supervisor  
James Creighton, Town Board Liaison  
Michael Cunningham, Esq. Assistant Town Attorney  
Christopher Lapine, P.E., LEED AP, Labella Associates  
Art Clements, Architectural Advisory Council  
Wendy Talio, Conservation Advisory Council  
David Steinmetz, Esq.  
Brian Sinsabaugh, Esq.  
John Petrie  
John Gilchrist, R.A.

# Cortlandt



9/18/2024, 2:51:05 PM







Cortlandt, New York

Google Street View

Sep 2022 [See more dates](#)



Image capture: Sep 2022 © 2024 Google



# Short Environmental Assessment Form

## Part 1 - Project Information

### Instructions for Completing

**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 – Project and Sponsor Information</b>			
Name of Action or Project: Enterprise Rent a Car			
Project Location (describe, and attach a location map): 2077 East Main Street, Town of Cortlandt, Westchester County, New York 10567 (Tax Map Section 24.13 Block 3 Lot 47)			
Brief Description of Proposed Action: Application for site plan amendment and area variances to permit the removal of existing temporary car port and construction of a 780 SF addition to the existing Enterprise retail office building to be used as a fully enclosed wash bay with water/oil separator.			
Name of Applicant or Sponsor: Eirac LLC d/b/a Enterprise Rent-a-Car		Telephone: 203.410.1995 E-Mail: John.S.Petrie@em.com	
Address: 2077 E Main Street			
City/PO: Cortlandt		State: NY	Zip Code: 10567
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Cortlandt Planning Bd. (Amended Site Plan); Cortlandt Building Dept. (Building Permit)			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ 0.39 acres b. Total acreage to be physically disturbed? _____ 0.02 acres c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ 0.39 acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input checked="" type="checkbox"/> Other(Specify): Mixed-Use; Multi-family; Two-family; Office <input type="checkbox"/> Parkland			

	NO	YES	N/A
5. Is the proposed action,			
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: <u>The proposed action will not exceed requirements.</u>	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			









The Applicant is GRANTED an Area Variance from the previous variance of 12 feet (down from 25 feet) to 0 (zero) feet of landscape buffer with the following conditions:

1. The fence along Route 6 will be moved behind the property line.
2. The Applicant will submit an as-built survey showing the relocated fence.

This is a Type II action under SEQR with no further compliance required.

NOW THEREFORE, Petition is granted and it is further ordered that in all other respects Petitioner comply with all of the rules, regulations and ordinances of the Town of Cortlandt and all other agencies having jurisdiction.

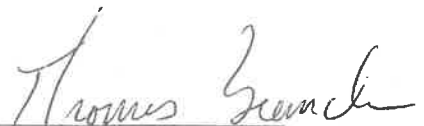
Adopted: November 20, 1996

Cortlandt Manor, New York

Date filed: *Nov. 25*, 1996



Barbara K. Miller  
Acting Clerk, Zoning Board



Thomas A. Bianchi  
Chairman, Zoning Board



WHEREAS, an application to the Town of Cortlandt Planning Board for Site Development Plan Approval pursuant to Chapter 307 of the Town of Cortlandt Code and a Wetland Permit pursuant to Chapter 259 of the Town Code was submitted by Enterprise Rent-A-Car by Stephen R. Deloge, V.P., tenant on property of Iaropoli Construction Corp., to convert an existing house to an office and to construct a parking lot and car storage areas for car rentals and related site improvements on property located on the south side of Route 6, opposite Millington Road as shown on a drawing entitled "Site Plan", prepared by Joel L. Greenberg, RA, latest revision dated April 21, 1995, and

WHEREAS, the subject property is designated on the Town of Cortlandt Tax Maps as Section 24.13, Block 3, Lot 47, and

WHEREAS, Part 617 of the implementing regulations of Article 8 of the State Environmental Quality Review (SEQR) Act of the New York State Environmental Conservation Law have been satisfied for the proposed action which is classified as an Unlisted Action, and

WHEREAS, pursuant to SEQR the applicant submitted with the subject application a completed Part 1 of the Short Environmental Assessment Form, and

WHEREAS, the Planning Board held a public hearing on the subject application as permitted by Section 274A of the Town Law at the Cortlandt Town Hall, 1 Heady Street, Cortlandt Manor, New York on July 11, 1995 at 8:00 P.M., notice of which was published in the "The Croton-Cortlandt Gazette" and in "The Star" and sent to adjacent property owners and property owners across the street, and

WHEREAS, the requirements of Chapter 307 for Site Development Plan Approval of the Town of Cortlandt Code have been met by said application and Site Development Plan, and

WHEREAS, the subject application was referred to the Town of Cortlandt Conservation Advisory Council (CAC), the Fire Advisory Board, the Westchester County Planning Board, and the Cortlandt Architectural Advisory Council, and

WHEREAS, comments submitted in response to the above mentioned referrals were considered by the Planning Board as well as comments made by staff and the public, and

WHEREAS, the Planning Board conducted a site inspection of the subject property of approximately 17,000 square feet which is zoned H-C, Highway Commercial, and

WHEREAS, the applicant proposed a 10 foot buffer and a 14 foot buffer area instead of a 50 foot buffer along the southerly property line adjacent to existing homes in a residential zone and the proposed parking lot and car storage area, and

WHEREAS, the Planning Board pursuant to Section 307-23.B(4) finds that a reduced buffer is warranted along the southerly property line since the lot is approximately 95 feet in depth from the front property line to the rear property line and due to existing vegetation to remain along the rear property line and a 6 foot high stockade fence, and

WHEREAS, due to the location of the proposed site improvements within the 100 foot control area for the existing drainage way along the rear property line the requirements of Chapter 179 (Wetlands) of the Town of Cortlandt Code have been met by said application and the Planning Board as approving authority is satisfied that sufficient information has been submitted to permit it to arrive at a proper determination, and

WHEREAS, in consideration of a wetlands permit pursuant to Chapter 179 of the Town of Cortlandt Code the Planning Board finds that:

(1) The proposed regulated activity is consistent with the policy of Chapter 179.

(2) The proposed regulated activity is consistent with land use regulations governing wetlands, water bodies and watercourses applicable in the Town of Cortlandt.

(3) The proposed regulated activity is compatible with the public health and welfare.

(4) There is no practicable alternative for the proposed regulated activity.

(continued on page 3)

(5) The proposed regulated activity will minimize degradation to, or loss of any part of the wetland, water body or watercourse or their adjacent areas and minimize any adverse impacts on the functions and benefits that said wetlands, water bodies and watercourses provide.

(6) The proposed activities are in compliance with the standards set forth in the New York State Freshwater Wetlands Regulations, Section 665.7(e) and 665.7(g), and

**WHEREAS**, pursuant to Section 617.11 of the SEQR Regulations, the Planning Board considered the impacts which may be reasonably expected to result from the proposed action by comparing them against the applicable criteria in said section and finds that:

1. The proposed action will not significantly impact existing air quality, ground or surface water quality and quantity, traffic or noise levels, nor result in a substantial increase in solid waste production, nor generate a substantial increase in potential for erosion, flooding, leaching or drainage problems.
2. The proposed action will not result in the removal or destruction of large quantities of vegetation or fauna, will not substantially interfere with the movement of an resident or migratory fish or wildlife species; will not impact a significant habitat area; and will not result in any substantial adverse effects on a threatened or endangered species of animal or plant, or the habitat of such a species, or other significant adverse effects to natural resources.
3. The proposed action will not result in the encouraging or attracting of a large number of people to a place or places compared to the number of people who would come to such place absent the action.
4. The proposed action will not result in the creation of a

(continued on page 4)

material conflict with the community's current plans or goals as officially approved or adopted.

5. The proposed action will not result in the impairment of a character or quality of important historical, archeological, architectural or aesthetic resources or of existing community or neighborhood character.
6. The proposed action will not significantly impact the use of either the quantity or type of energy.
7. The proposed action will not create a hazard to human health.
8. The proposed action will not result in a substantial change in the use or intensity of use, of land including agricultural, open space or recreational resources, or in its capacity to support existing uses.
9. The proposed action will not create a material demand for other actions which would result in one of the above consequences.
10. The proposed action will neither result in changes in two or more elements of the environment, no one of which has a significant effect on the environment, nor when considered together result in a substantial adverse impact on the environment.
11. The proposed action will neither result in two or more related actions undertaken, funded or approved by an agency, none of which has or would have a significant effect on the environment, nor when considered cumulatively, would meet one or more of the criteria in this section.

**WHEREAS**, the Planning Board considered possible long-term, short-term and cumulative impacts and found no significant effects which would result as a consequence of the proposed action.

**NOW THEREFORE BE IT RESOLVED** that the Planning Board as lead agency in this matter finds that based on Part 1 of the Short Environmental Assessment Form (EAF) prepared by Joel Greenberg, Architect, dated April 19, 1995, and based on Part II of the Short EAF prepared by the



Planning Department, dated August 1, 1995 and based on the subject drawing and an analysis of the criteria stated in 617.11 (6NYCRR) (1) - (11), the proposed project as amended herein will have no significant, adverse environmental impact upon the environment and therefore the Planning Board adopts said Part II of the Short EAF and a Negative Declaration and that no Draft Environmental Impact Statement is required with regard to this matter, and

**FURTHER BE IT RESOLVED** that the application of Enterprise Rent-A-Car by Stephen R. Deloge, V.P., tenant on property of Iaropoli Construction Corp., for Site Development Plan Approval and a Wetland Permit to convert an existing house to an office and to construct a parking lot and car storage area for car rentals and related site improvements on property located on the south side of Route 6, opposite Millington Road as shown on a drawing entitled "Site Plan", prepared by Joel L. Greenberg, RA, latest revisions dated April 21, 1995, July 7, 1995, July 17, 1995 and July 28, 1995 be approved subject to the conditions listed below and that the Chairman of the Planning Board be authorized to endorse approval on said drawings upon compliance by the applicant with such conditions as listed below, and

**FURTHER BE IT RESOLVED** that this approval of said drawing shall be valid for a period of twelve (12) months from the date of this Resolution to satisfy all conditions of approval and to obtain the signature of the Chairman on the drawings. If there is no substantial change in the condition of the site and/or its environs, Site Development Plan Approval may be extended by the Planning Board for one (1) additional period of one (1) year, upon timely application by this applicant.

**CONDITIONS:**

1. Obtain the required signatures from the Town Departments on two mylars of the subject drawing as amended herein and submit four prints of said drawing to the Planning Department following the Chairman's signature on the drawings.
2. Posting of a maintenance security pursuant to Chapter 307 of the Town Code in the form of an Irrevocable Standby Letter of Credit as

(continued on page 6)

required by Town Board Resolution No. 257-90 or an Assignment of Deposit or Passbook on the form approved by Town Board Resolution No. 318-90 in the amount of three thousand five hundred dollars (\$3,500.00). Said security to be in effect for a period of not less than three years from the date thereof. Prior to the Planning Board Chairman signing the site plan drawings said Letter of Credit or Assignment of Deposit or Passbook shall be submitted to and approved by the Town Department of Law which will then be forwarded to the Town Clerk and a copy to the Planning Department.

3. Revise the subject site plan pursuant to Section 307-21.B.(2) (Landscape coverage Requirements) of the Town Zoning Code to provide for a landscaped strip 25 feet in width between the new front property line and the proposed car storage area. Within the area of the 25 foot landscape strip in addition to the proposed shrubbery and low fencing, as required by Section 307-21.B(3)(a) show on the subject site plan small trees, 10 feet in height at planting time 20 feet on center. By increasing the landscape strip to 25 feet this will result in the loss of 9 storage spaces for rental cars reducing the total number of rental cars to be available on the property from 41 to 32.

4. As recommended by the Conservation Advisory Council in their May 23, 1995 memo, indicate on the subject site plan that the drainageway shall be cleaned up of debris and maintained open and protected from siltation and from runoff contaminated with petroleum products.

5. Note on the site plan "Exterior lighting to be directed downward so as not to cause any glare onto adjacent residential properties."

6. Indicate the hours of operation on the site plan.

7. The applicant shall obtain and submit an appropriate letter or form from the Town Receiver of Taxes indicating that taxes on the subject property have been paid in compliance with Section 77A-3 of the Town Code.

8. On the subject site plan indicate soil erosion controls to the satisfaction of the Town Engineer.

9. Note on the site plan that this approval shall expire one year from the Planning Board Chairman's signature unless a time extension is requested by the applicant and granted by the Planning Board.
- 10 On the subject site plan indicate curbs in Section A-A.
11. On the subject site plan indicate the exact net parcel area and property lines based on the property taking by New York State for the reconstruction of Route 6 to the satisfaction of the Town Engineer.
12. Submission of a written agreement from the property owner to join a future Town sewer district when one is formed. Said agreement shall be to the satisfaction of the Town Department of Law.

*Jolink called 11/30/95 with his approval of cond. 12.*  
K.U.

Adopted: August 1, 1995  
Cortlandt Manor, New York

Filed in the Office of the  
Planning Board this 3 day  
of August, 1995.

Kenneth Verschoor  
Kenneth Verschoor  
Clerk to the Planning Board

3/6/12

NEW BUSINESS

**PB 15-95 a. Letter dated February 21, 2012 from Joel Greenberg, AIA requesting Planning Board approval for a new car washing system with a canopy to be located at Enterprise Rent-A-Car located at 2077 Cortlandt Boulevard (Route 6).**

Mr. Joel Greenberg stated good evening Madame Chair and the Board. Joel Greenberg for the applicant. I think you have the drawings that I'm showing you right here now. This was the original site plan that was approved back in 1995. This section small 8 1/2 x 11 sheet shows the location of the proposed carwash and then the drawing below that shows actually what the carwash and the canopy looks like. Just for your information, at the present time, the cars are just washed with a hose with the water going sheet flow over the site. This proposal, if you look very carefully, the cars are put on a mat which is seen right here at the bottom of the picture and all the water is then taken and then recycled so no water will go off the site, no water will go on the existing blacktop. All the water will be absorbed into the mat and then brought back into the tanks and then reused again. We think that it's obviously environmentally a lot better situation. We're not adding any blacktop. We're not subtracting any blacktop. Everything will remain exactly the same except for this mat, the absorbent mat and this canvas structure that's going to be over it for the cleaning and the washing of the cars. We would hope that we would be able to – we do need two Variances which we've applied to the Zoning Board for. We'd hope that you would approve this so that we can go to the Zoning Board and get the structure under way.

Mr. John Klarl asked what are the two Variances Mr. Greenberg?

Mr. Joel Greenberg responded we need a side and rear yard Variance. Again, we're going on top of existing black top and this proposed structure is going right in the corner where the south and the west side black top corner meets.

Mr. Robert Foley asked will there be any disturbance noise wise with this machinery as opposed to what they have now to the residents behind it?

Mr. Joel Greenberg responded no. There'll be no more noise than what you'd have for, let's say, with a hose. I can get you information from the company. They've been in business now for about eight years. Their main office is located in Florida and they now have Enterprise have hired them to do this at all their places of business. The national car rental has also hired them. Again, I can send you the specific information detailing exactly how the process works but I've looked at it and it seems to me like a very environmental friendly process and something I think would be a positive thing for the Town to approve.

Mr. Robert Foley asked so the pressure washer's already there the way they use it?

Mr. Joel Greenberg asked I'm sorry?



Mr. Robert Foley asked the pressure washer, is that a new item that will be there? They're just using a hose now...

Mr. Joel Greenberg responded correct, all they use now is a hose.

Mr. Robert Foley asked so there's not going to be any sound that's coming from the devices or these tanks or anything?

Mr. Joel Greenberg responded no. Again, the nice thing is that none of the water is flowing out all over the site as – the other nice thing about this thing too, I almost forgot to say this, per car wash it only uses four gallons per car wash so the amount of water it uses is really tremendously low versus an open hose so on and so forth. We're talking about four gallons per car.

Mr. John Bernard asked has the applicant gotten you to look at the stairs that go from one level to the other?

Mr. Joel Greenberg responded that's over here.

Mr. John Bernard asked did they have you looking at those? Is anyone looking at those stairs and that handrail?

Mr. Joel Greenberg responded obviously you've mentioned it so it's something we'll look at. If it's something that's got to be repaired, we will do it.

Mr. John Bernard stated it might be worth taking a look at it.

Mr. Joel Greenberg responded I absolutely agree with you.

Ms. Loretta Taylor stated I want to just suggest that, we've left the idea of a site inspection kind of with a question mark. I personally think that members of the Board should go and look at this. I have used the business. I have no problems with them. They're efficient. They do what they're supposed to do. That's not the problem. I think that site is very, very tight and I think, based on my sense over the years, that it's gotten even tighter in terms of the numbers of cars at any given moment that are there. I'm not sure, given how many of the times that I've come in and seen that many cars there, where would you really put that and how would this – what would happen to all the cars that are normally there? Where would they go?

Mr. Joel Greenberg responded I can answer that question. Right now, the area where we're proposing this geo-mat which is this corner over here, this is where the cars are washed right now. We're not adding an additional area that has to be used for car washing. We're using the same spot that's being used right now so that the area of parking, and everything, none of that has changed. This is basically – it's like a one-car lot. It's a one-car space so it's not that we're taking up three or four spaces to put this unit in place.

Ms. Loretta Taylor asked you're saying this whole thing takes up one space only?

Mr. Joel Greenberg responded yes. Again, it's in the corner. It's away from the area where the traffic goes in and out which is the curb cut along Route 6. I think I know what you're talking about too, but I think what's happened here now, we have a couple of handicapped parking spaces over here and basically what happens now is the cars – you're picked up from your house and you're brought to Enterprise with one of their cars, you park it down here, your car is out here waiting, just been cleaned obviously, it's facing out and then you just pull out and the next car comes in. Obviously, as you said, over the years their business has increased which is a good thing for the Town, and is a good thing for the community and I think that they can – obviously I'm going to take what Mr. Bernard said and take a look at this area too and if this takes a more re-stripping then obviously over the years it's probably faded so that people know where to park. I think that's probably the concern that you have and I think that if we reinstate what the original site plan called for, once that's done again and the signage is put up I think the concern that you have will be alleviated. I think that's something that can be taken care of on site without any problem. Of course, the stairs, if that's a situation that should be looked at – as a matter of fact I will be going up tomorrow so I will take care of that tomorrow.

Ms. Loretta Taylor stated I'm just looking at the actual photograph you have here and it really looks like more than one car space.

Mr. Joel Greenberg responded actually it's the equivalent of let's say a handicap space. Handicap space is approximately **13** feet and this is approximately – I take that back, it's actually **14** feet so it's a space and a half. I apologize but that whole area is where one car is put. That's what I was trying to bring out. There's one car that's put over here in the corner and that's where it's washed.

Mr. Chris Kehoe stated we discussed briefly, I think, at the work session is that I think staff would think that maybe – I think you should refer it back. I think that if you get a chance, it's a commercial establishment. It's not like going into the woods. You can drive by, take a look at it and see. I think that Ed and I need to do a little bit more investigation so I think it should be referred back rather than potentially approved tonight. And, if you get a chance to go out and take a look at it because it is a little tight in back of the building.

Mr. John Klarl asked Mr. Greenberg, are you on the Zoning Board of Appeals agenda for next week?

Mr. Joel Greenberg responded yes I am.

Mr. Chris Kehoe stated but referring back with sort of a defacto site inspection that we're not – when you get a chance to swing by and look at it so we'll have the ability to discuss the site inspection at the next meeting.

Mr. Steven Kessler stated Madame Chairman I move that we refer this back to Planning and Engineering.

Seconded with all in favor saying "aye."

Mr. Joel Greenberg stated Happy St. Patrick's day.

Ms. Loretta Taylor stated you might want to let Irena know that we're going to be coming by some time – not necessarily as a large group.

**4/3/12**

**PB 15-95 c. Letter dated February 21, 2012 from Joel Greenberg, AIA requesting Planning Board approval for a new car washing system with a canopy to be located at Enterprise Rent-A-Car located at 2077 Cortlandt Boulevard (Route 6).**

Mr. Joel Greenberg stated for the applicant. Just want to bring you up to date and just very quickly review what was discussed at the work session. As you know, this is a company called Geo-mat which I think I explained at the last meeting as a fairly new company, about 7 or 8 years old who has actually gotten a contract for the Enterprise Rent-A-Car, I believe also national Rent-A-Cars to put in these environmentally friendly type car washes. In most cases these Rent-A-Car places basically just take a hose and spritz the car and the water, especially in cold weather, will come down usually onto the roads, freeze up and so on and so forth. As I showed you at last month's meeting, there is now, the company's name is Geo-mat, and a mat is actually embedded into the blacktop and all of the water and whatever comes out of the hose is basically collected on this mat and then recycled. Also, at the same time too the oils and stuff that might be coming off the car are separated. There's an oil separator so you're basically taking out the bad stuff, recycling the good stuff so it's just something I think is very environmentally friendly and I think will be an asset to this particular site. As John Klarl said, because of the location of this carwash we had to go to the Zoning Board for two Variances; for a side yard and rear yard Variance. It was the position of the Zoning Board that they would not act on the Variances until this Board had a motion of approval. In addition, Mr. Frank Rugetti who is the neighbor directly to the west of us was at the meeting and requested some information. I met with him twice at his home just to see exactly what he was seeing and basically we came up with a solution which I will pass out. Mr. Righetti had basically two concerns; basically they were the noise factor. Again, even though this is all, everything is recyclable it is basically the same hose except that the water is being recycled and captured instead of going down the blacktop onto Route 6 so there is no additional noise factor. One thing he did complain about which has basically nothing to do with this application but I felt we could accommodate him at the same time, when they wash the cars they also vacuum the cars and that does make a lot more noise than a hose obviously. So, what I've agreed to if you take a look at the site plan, right now between the blacktop and the property line of Mr. Righetti, what I agreed to do is to remove the vacuum machine and bring it down to the corner down at the lower left hand corner of the Geo-mat. This will number one, get it away from there also if you can see from that drawing the back of the Geo-mat which faces Mr. Righetti's property will now be a full petition instead of open on four sides it'll be closed on the fourth side. By bringing the vacuum down to this particular point over here, the residences over to the east of that property are much further away than Mr. Righetti's so that the noise factor should not be a factor with these others but it'll help and reduce the amount of noise that Mr. Righetti gets. Basically, we've accommodated the most immediate neighbor because his house is very, very close to the property line in this particular instance and we'd ask for a motion of approval so we can proceed

with our Variances. Obviously I'll answer any questions that you might have.

Mr. Thomas A. Bianchi asked are you proposing to put the structure around the carwash?

Mr. Joel Greenberg responded yes, in other words there will be walls on the side facing Mr. Righetti's house, yes.

Mr. Thomas A. Bianchi stated it's already a very small area.

Mr. Joel Greenberg responded yes, but again we're not losing any parking spaces. This is the same spot where they wash the cars now. Also, one thing I forgot to add and I met out of the site with Chris Kehoe and he had a very good suggestion which I don't know if I mentioned it at the last meeting. Because it is not exactly, as you would say a roomy site, as the cars came in off of Route 6 there's an area over here where the customers are coming in to drop off their cars come over here to this area here. Unfortunately the handicap spot which of course can be used which reduces the amount of cars that can be brought in at the same time. Chris's suggestion which is an excellent one, is to take this handicap spot, move it next to the carwash and then that would give us an additional two parking spaces for the cars to be brought back here instead of having the congestion that you have. Let's say, I think their busiest days are probably Friday and Monday when people are picking up cars and people are bringing back cars. This will actually add two additional cars to the area where customers come in, get the handicap spot over in this corner over here which happens to be right next to the handicap ramp which makes a lot of sense. Right now a handicapped person would have to park way over here, wheel themselves across a traveled way where cars come in which is dangerous and this would be moved over and located back over here next to the handicap ramp. I think we've taken care of the environment, we've taken care of the handicap and made it much easier for them and at the same time added two additional cars for customers to come and park their cars, bring the keys back and then the runner takes the car and brings it down into the inventory area down below. I think we've listened to the neighbor, listened to the Planning Board. Chris had a fantastic idea to help the handicapped and I think all and all it's a win/win for everybody.

Mr. Steven Kessler asked so Joel, the cars, this is where you're proposing to build?

Mr. Joel Greenberg responded yes, that's not the right shape.

Mr. Steven Kessler stated that's my point, so it's more head in.

Mr. Joel Greenberg responded Mr. Righetti, I don't know if you know the property he has these huge, beautiful hedges between his property and Enterprise property and Enterprise is giving his landscapers permission to come on the property to trim the hedges and everything.

Mr. John Klarl stated which he says he keeps manicured.

Mr. Joel Greenberg responded and they are. I saw him just before the weather got warm and they were manicured all winter. But, seriously, we have the hedges which are year round and now we now we have no opening for him to see – he's just basically going to see the end wall of



the building.

Mr. John Klarl stated if I recall Joel, at the Zoning Board of Appeals meeting, he's most concerned about the vacuum.

Mr. Joel Greenberg responded and the vacuum we've taken care of by putting it at the other end, yes that's correct. His basic problem was the noise factor. Let's face it, I sat down on his deck and all I hear is cars down Route 6 going "psh, psh, psh" constantly but whatever we can do within our property to help them out obviously we have no problem.

Mr. Robert Foley stated so even if there is a noise problem at the new location coming from that machinery, we have an Ordinance that could...

Mr. Joel Greenberg responded yes, and if Code Enforcement wants to check it out and they have to get a new one that makes less noise obviously...

Mr. Chris Kehoe stated I'm not aware that Mr. Righetti has ever filed a complaint regarding the vacuuming that's been going on there.

Mr. Joel Greenberg responded no he hasn't but when I was over at his house he said "oh, by the way as long as you're here..." So, I said no problem we'll do it. Bob Foley, obviously if there's any question with regard to the amount of noise and the decibel level we'll correct that also.

Mr. Robert Foley asked and the houses to the east of it are far enough away?

Mr. Joel Greenberg responded yes, there is a solid wood fence along the entire property line. There's a large slews way over here and then there's houses, so these houses, like Mr. Righetti's house is probably within five feet of the property line. These houses have to be at least **20** to **25** feet from the property line and way, way far back.

Mr. John Klarl asked Mr. Greenberg you're going to attend the next Zoning Board of Appeals meeting and explain to the Zoning Board of Appeals what transpired with yourself and Mr. Righetti?

Mr. Joel Greenberg responded I thought you just recorded it. I have to repeat it now? Yes, of course I will.

Mr. Robert Foley asked with the extra parking, the queuing up of cars trying to get in at a busy hour, there's never been an incident or an accident on Route 6 has there?

Mr. Chris Kehoe responded no, I can't remember but I think I sent you all an e-mail but when we were there **4** or **5** cars being delivered by Enterprise employees all came back in at once. It was probably a Monday and they were bringing them all back.

Mr. Joel Greenberg stated what happened was, Chris is correct, and what happened is that you have the runners which bring the cars back and bring them down to this parking lot then you

have a let's say, you have four runners, there's a fifth guy who comes over here. When the one is finished putting the cars in he takes them all back to wherever they – and it's a very good deal too...

Mr. Chris Kehoe stated they bring a van in, they take the drivers away...

Mr. Joel Greenberg responded they're paid very well for doing that.

Mr. Chris Kehoe stated but they put them down to the lower storage area when they brought them in and then one at a time they were bringing them up to hose them down and vacuum them in the back.

Mr. Robert Foley asked so they're attentive to the customer coming in with the cars and if there's a backup of cars...

Mr. Joel Greenberg responded correct, and as Chris just said there's this whole area down below too. Thanks to Chris's suggestion we actually have two more spaces on the upper level for cars to...

Mr. Chris Kehoe stated well Chris can only make suggestions. The idea of rearranging the handicap space would really be up to Ed, the Director, to see if that works. But, when we were out there, both you and I wanted to park and that handicap space and the required space on both sides of the handicap space really limits the usability of that.

Mr. Joel Greenberg stated I think we measured it, I think we can probably get two additional cars by moving the handicap spot to the back. Again, we'll discuss that with Ed. I think if Chris and I show him the way I'm sure we'll be able to do it.

Mr. Thomas A. Bianchi asked what would be the height on this structure? I know the width and the length is going to be approximately **14** feet by **33** but what is...

Mr. Joel Greenberg responded I show the actual height of the structure is probably about **11** feet to the peak. At the eave then it's probably about between **7 ½** and **8** feet.

Mr. Thomas A. Bianchi asked and this would not stand out among that area? From what you're telling me, I was there but I don't recall all the shrubs and all that.

Mr. Joel Greenberg responded again, this is the corner where it's being proposed, there is a solid wood fence which is actually -- I can barely reach the top. It's over **6** feet high. then, Mr. Righetti has these huge hedges which are probably also over **6** feet high. Basically, this thing will be nestled with a solid fence on one side and high hedges on the other side and no openings toward Mr. Righetti.

Mr. Thomas A. Bianchi asked do we need ARC to look at this at all or is that something that – because I'm not sure what the finishes are on this from the outside and all of that.

Mr. Chris Kehoe responded if you want to approve it, it could be subject to Zoning Board, ARC and then also to the satisfaction of the Director of Technical Services. But, I did do a site inspection, at least the time that I was there, it was very quiet and then they brought all those cars in and they managed to manipulate the cars around and they seemed like they knew what they were doing.

Mr. Thomas A. Bianchi asked any other points on this?

Mr. Steven Kessler stated Mr. Chairman I move that we approve the application subject to Zoning Board, Architectural Review as well as the Department of Technical Services' approval.

Seconded with all in favor saying "aye."

Mr. Joel Greenberg stated thank you all very much. I want to wish you all a Happy Passover and a Happy Easter.

Mr. John Klarl stated we'll see you at the Zoning Board of Appeals meeting.



**TOWN OF CORTLANDT**  
**DEPARTMENT OF TECHNICAL SERVICES**  
**CODE ENFORCEMENT DIVISION**

**Michael Preziosi, P.E.**  
*Director – D.O.T.S*

**Martin G. Rogers, P.E.**  
*Director of Code Enforcement / D.O.T.S.*

**Holly Haight**  
*Assistant Director of Code Enforcement*

Town Hall, 1 Heady Street  
Cortlandt Manor, NY 10567  
Main #: 914-734-1010  
Fax #: 914-293-0991

**Town Supervisor**  
Richard H. Becker

**Town Board**  
James F. Creighton  
Cristin Jacoby  
Robert E. Mayes  
Joyce C. White

To: Town of Cortlandt Planning Board  
Cc: Chris Kehoe, AICP – Director, Department of Planning & Community Development  
From: Martin G. Rogers, P.E. – Director of Code Enforcement *MBR*  
Date: September 26, 2024  
Re: Enterprise Rent-a-Car  
2077 E Main Street  
Tax ID 24.13-3-47

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Initial review has been performed for the Site and Building Plan & Elevations Drawings prepared by John J. Gilchrist, R.A. for the above location. The following is noted:

1. Accessible Parking Space and Aisle shall be verified that required signage is provided for the space and aisle per Chapter 11 of the BCNYS. Any painted symbol on the asphalt shall comply with the current requirements also. Include details.
2. Detailed information is required for the oil water separator and any proposed gutters and leaders for the addition. Discharge to?
3. A roof overhang is shown over the new accessible entrance/exit door with a post. Verify the required accessible approach is provided as per 2020 BCNYS which references ICC A117.1 2009 Edition.
4. Add warning note as required by Article 145, Professional Engineering and Land Surveying 7209 (2); and/or Commissioner's regulations Part 79-1.4, Landscape Architecture or Part 69, Architecture, 69.5b on all drawings and reports prepared and sealed by an engineer, surveyor, or architect. Similar to this:

*It is a violation of the law for any person, unless acting under the direction of a licensed professional, to alter an item in any way. If an item bearing the seal of a licensed professional is altered, the altering licensed professional shall affix to their item their seal and the notation "altered by" followed by their signature and the date of such alteration, and a specific description of the alteration.*

It is recommended it is within the Title Block on each sheet near the Seal and Signature of the Design Professional or Surveyor.

5. The New York State Department of State recently amended its regulations concerning the minimum standards for the administration and enforcement of the New York State Uniform Fire Prevention and Building Code and the New York State Energy Conservation Construction Code. Effective December 30, 2022, pursuant to 19 NYCRR 1203.3(a)(3)(ix), code administration and enforcement agencies will require, where

applicable, construction documents submitted as part of an application for a building permit to include, among other things evidence that the documents were prepared by a licensed and registered architect in accordance with Article 147 of the New York State Education Law or a licensed and registered professional engineer in accordance with Article 145 of the New York State Education Law and practice guidelines, including but not limited to:

- a. the design professional's seal which clearly and legibly shows both the design professional's name and license number and is signed by the design professional whose name appears on the seal in such a manner that neither the name nor the number is obscured in any way
- b. the design professional's registration expiration date
- c. the design professional's firm name (if not a sole practitioner), and,
- d. if the documents are submitted by a professional engineering firm and not a sole practitioner professional engineer, the firm's Certificate of Authorization number.

More information can be accessed on the New York State Building Standards and Codes website or by contacting New York State Department of State.